



PLAN COMMISSION MEETING AGENDA

Tuesday, February 24, 2015 at 5:30 P.M.

Sister Bay-Liberty Grove Fire Station – 2258 Mill Road, Sister Bay, WI

For additional information check: [Http://www.sisterbaywi.gov](http://www.sisterbaywi.gov)

In order for everyone to hear the discussion please, turn off your cell phone. Thank you.

Call Meeting to Order / Roll Call Deviations from the agenda order shown may occur.
Comments, correspondence and concerns from the public

Approval of the agenda

Approval of minutes as published

Business Items

1. Public Hearing on amending the zoning map for a parcel 181-0005312833D of approximately 1.78 acres on N. Highland Rd. by rezoning to R-2 from R-4; Consider a motion for action to rezone parcel 181-0005312833D.
2. Consider a motion to approve a Certified Survey Map for the Village of Sister Bay, Old Ball Field Lot;
3. Consider a motion to approve Architecture, Site, Storm water Management Traffic, Landscaping, Signage, and Lighting plans for Premier Real Estate.
4. Consider a motion to approve a development agreement for the “Old Ball Field” site from Premier Real Estate.
5. Consider a motion to approve a development agreement from Stony Ridge Development
6. Consider a motion to approve signage design and site plans for Country Walk Shops.
7. Report by the Zoning Administrator regarding development activities, various enforcement actions, and issuance of Sign and Zoning Permits.
8. Matters to be placed on a future agenda or referred to a Committee, Official or Employee

Adjournment

Public Notice

Questions regarding the nature of the agenda items or more detail on the agenda items listed above scheduled to be considered by the governmental body listed above can be directed to Zeke Jackson, Village Administrator at 920-854-4118 or at zeke.jackson@sisterbaywi.gov.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Sister Bay Village Administrator at 854-4118, (FAX) 854-9637, or by writing to the Village Administrator at the Village Administration Building, 2383 Maple Drive, PO Box 769, Sister Bay, WI 54234. Copies of reports and other supporting documentation are available for review at the Village Administration Building during operating hours. (8 a.m. – 4 p.m. weekdays).

I hereby certify that I have posted a copy of this agenda at the following locations:		
<input type="checkbox"/> Administration Building	<input type="checkbox"/> Library	<input type="checkbox"/> Post Office
_____ / _____		
Name	Date	

1 At 5:44 P.M. Lienau called the public hearing on amending and recreating §66.0808 of the
 2 Zoning Code – Noise Levels in Various Zoning Districts, to order. At 5:46 P.M. he asked if
 3 anyone wished to comment regarding the proposed amendments, and when no one responded
 4 he declared that the hearing was officially closed.

5
 6 A motion was made by Grutzmacher, seconded by Baker that the Plan Commission
 7 recommends that the proposed amendments to §66.0808 of the Zoning Code – Noise Levels in
 8 Various Districts, which were reviewed at this meeting, be approved as presented. Motion
 9 carried – All ayes.

10
 11 **Item No. 2. Consider a motion to approve a Certified Survey Map for the Good Samaritan
 12 Society – Scandia Village property:**

13 A draft of a Certified Survey Map which depicts dedication of the right-of-way for the Scandia
 14 Village Expansion Project was included in the meeting packets and the Commission members
 15 jointly reviewed that document.

16
 17 A few complaints were received that the intersection of Canterbury Lane and Applewood Road
 18 does not seem to be sized appropriately for large trucks, and as per the Commission's directives
 19 Jackson requested that Chris Hecht, the Fire Chief, take a fire truck up there to see if the
 20 complaints were justified. Chief Hecht complied with that request, and did not have any issues
 21 turning the fire truck around in the intersection.

22
 23 A motion was made by Lienau, seconded by Howard that the Plan Commission recommends
 24 that the Certified Survey Map for the Good Samaritan Society – Scandia Village property which
 25 was reviewed at this meeting be approved as presented. Motion carried – All ayes.

26
 27 **Item No. 3. Consider a motion to approve a Certified Survey Map for the property which is
 28 commonly referred to as the Old Helm's Cottage Lot which is owned by the Village of Sister
 29 Bay:**

30 The members of the Administration Committee and the Parks, Properties and Streets Committee
 31 have requested that they be allowed to create a new set of lots on the property which is
 32 commonly referred to as "The Old Helm's Cottage Lot" in order to facilitate 6(f) conversion of
 33 parcels which were obtained with Stewardship Grant funds. The DNR and the Federal Parks
 34 System require a "land for land" swap in circumstances such as this, and a proposed Certified
 35 Survey Map was included in the meeting packets. Lot 1 will have a 6(f) conversion restriction
 36 on it, and the Village intends to create a public parking lot on that property. There is a
 37 developer who is interested in purchasing Lot 2. A condition of the sale will be that the
 38 developer construct public restrooms and changing facilities on Lot 2 and deed them back to
 39 the Village.

40
 41 A motion was made by Baker seconded by Grutzmacher that the Plan Commission
 42 recommends that the Certified Survey Map for the property which is commonly referred to as
 43 the Old Helm's Cottage Lot which is owned by the Village of Sister Bay be approved as
 44 presented. Motion carried – All ayes.

45
 46 **Item No. 4. Consider a motion to discuss and recommend to proceed to public hearing -
 47 §66,1055(1)(e) – Permitted Façade Materials:**

48 After the last meeting Jackson did some more research regarding the Village's architectural
 49 review criteria and determined that §66.1055(d) of the Zoning Code states that the Plan
 50 Commission may modify any of the standards in the Site Plan and Architectural Review criteria

1 by a $\frac{3}{4}$ majority vote of the Commissioners, but only if supplemental design elements or
2 improvements are incorporated into the project which compensate for the modifications. Since
3 this provision already exists, the Commission members determined that it would not be
4 necessary for them to consider amendments to §66.1055(1)(e).

5
6 **Item No. 7. Report by the Zoning Administrator regarding development activities, various
7 enforcement actions, and issuance of Sign and Zoning Permits:**

8 Jackson gave the following oral report:
9

10 • **Permits/Enforcement Actions:**

11 A Zoning Permit has been issued to Steve Thomas for an addition to his building on
12 Country Walk Drive.
13

14 **Item No. 6. Discussion regarding matters to be placed on a future agenda or referred
15 to a committee, Village official or employee:**

16 *There were no matters to be placed on a future agenda or referrals to a committee, Village
17 official or employee.*
18

19 **Adjournment:**

20 *A motion was made by Grutzmacher, seconded by Baker to adjourn the meeting of the Plan
21 Commission at 6:10 P.M. Motion carried – All ayes.*
22

23 Respectfully submitted,

24 

25 Janal Suppanz,
26 Administrative Assistant



Plan Commission Public Notice

The Sister Bay Plan Commission will hold a public hearing at the Sister Bay Fire Station, 2258 Mill Rd, Door County, Wisconsin on **Tuesday, February 24, 2015 at 5:30 P.M.** or shortly thereafter, for the purpose of considering proposed map amendments to the Zoning Map. Sections of the Zoning Map to be considered include rezoning of a parcel of approximately 1.78 acres on N. Highland St. Owned by the Village of Sister Bay from R-4 to R-2.

The purpose of this public hearing is to obtain comments and input from the public on the proposed Map amendments.

A copy of the proposed amendments and the current Zoning Code are available for inspection. The Zoning Code and Zoning Map for the Village are also on file at the Zoning Administrator's office and may be viewed at 2383 Maple Drive weekdays between 8:00 a.m. and 4:00p.m. The drafts are available on the Village web site at www.sisterbaywi.info.

Written testimony, including email, will be accepted at the Sister Bay Administration Building, 2383 Maple Drive, Sister Bay, WI 54234, (FAX 920-854-9637) until 3:00 P.M. on the day of the meeting. Letters will be available for public inspection during normal business hours, until the close of business on the day of the hearing. Letters will be entered into the record; and a summary of all letters will be presented at the meeting, but individual letters may not be read. Anonymous correspondence will not be accepted.

All application materials for Regular Zoning Permits, Conditional Use Permits and zoning amendment petitions may be viewed at the Sister Bay Administration Building, 2383 Maple Drive, Sister Bay, WI during normal business hours, 8:00am. -4:00p.m.

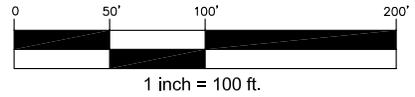
By order of the Plan Commission of the Village of Sister Bay.

Zeke Jackson
Zoning Administrator
zeke.jackson@sisterbaywi.gov

DOOR COUNTY CERTIFIED SURVEY MAP NO. _____

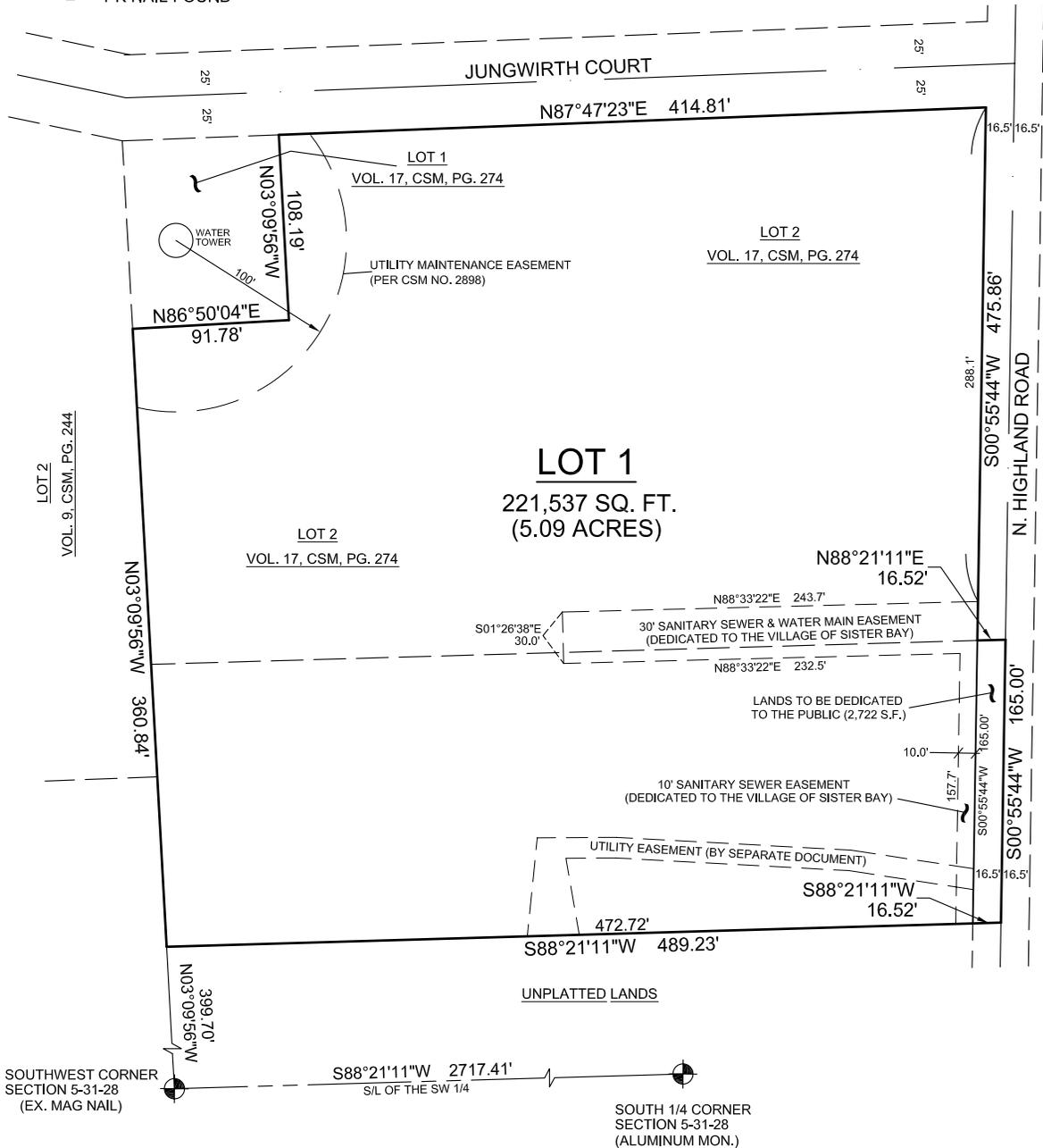
All of Lot 2, of CSM No. 2898, and part of the SW 1/4 of the SW 1/4, Section 5, T31N, R28E, Village of Sister Bay, Door County, Wisconsin.

Prepared for:
Premier Real Estate Management, LLC
19105 W. Capitol Dr., Ste. 200
Brookfield, WI 53045



- LEGEND**
- = 3/4" x 24" REBAR SET WEIGHING 1.502 LBS./LIN. FT.
 - = 3/4" REBAR FOUND
 - △ = PK NAIL FOUND

North is referenced to the South line of Section 5, recorded as S88°21'11"W.



SURVEYOR'S CERTIFICATE

I, Thomas M. Wood, Professional Wisconsin Land Surveyor, hereby certify that I have surveyed, divided and mapped all of Lot 2, of CSM No. 2898, and part of the SW 1/4 of the SW 1/4, all in Section 5, T31N, R28E, Village of Sister Bay, Door County, Wisconsin, described as follows:

Commencing at the Southwest corner of said Section 5; thence N03°09'56"W, 399.70 feet to the point of beginning; thence continuing N03°09'56"W, 360.84 feet; thence N86°50'04"E, 91.78 feet; thence N03°09'56"W, 108.19 feet; thence N87°47'23"E, 414.81 feet; thence S00°55'44"W, 475.86 feet; thence N86°21'11"E, 16.52 feet; thence S00°55'44"W, 165.00 feet; thence S88°21'11"W, 489.23 feet to the point of beginning.

That I have made such survey, map and land division as shown hereon, under the direction of Premier Real Estate Management, LLC.

That this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land.

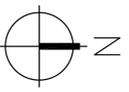
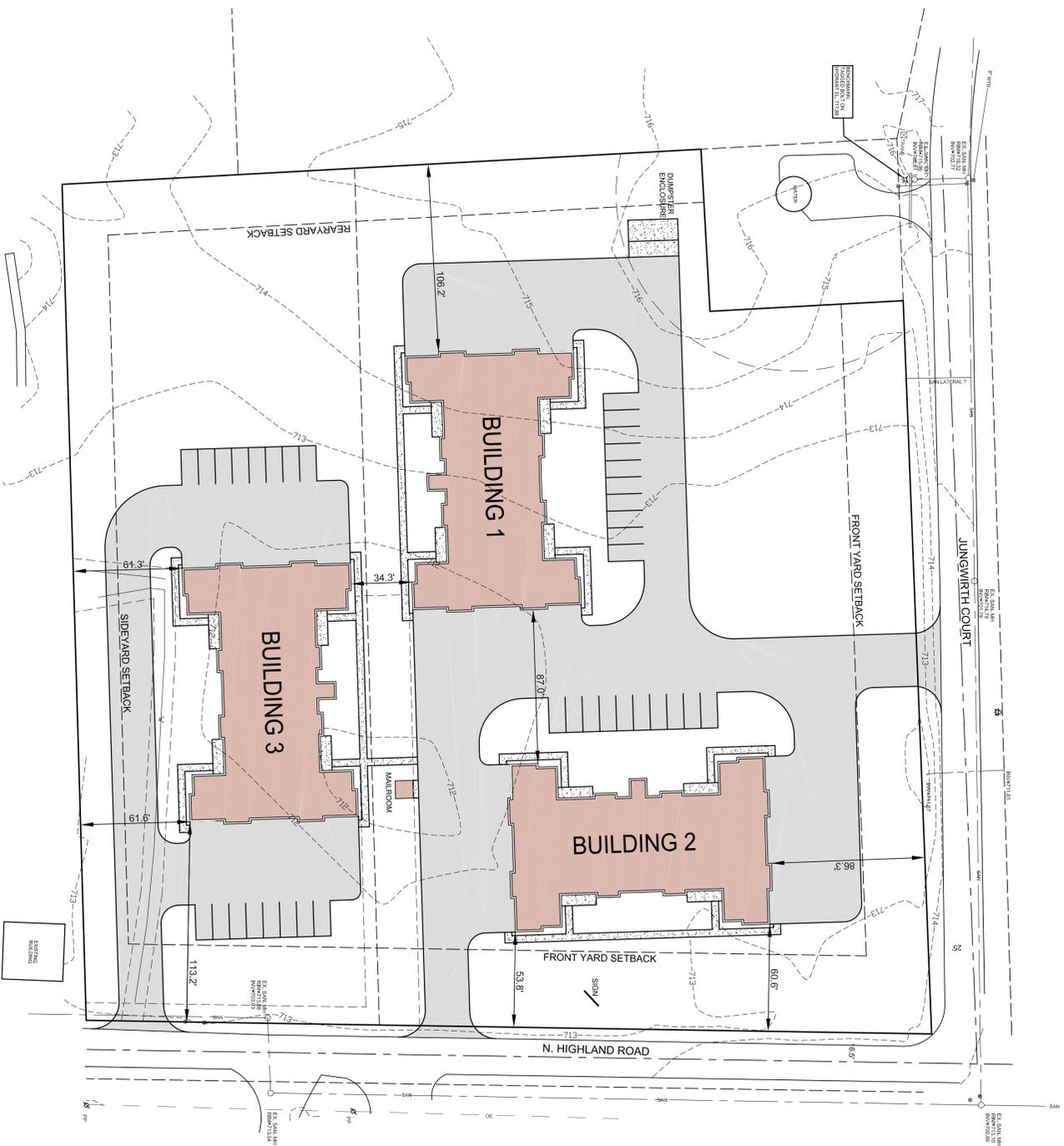
That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the subdivision ordinances of the Village of Sister Bay, in surveying, dividing and mapping the same.

HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

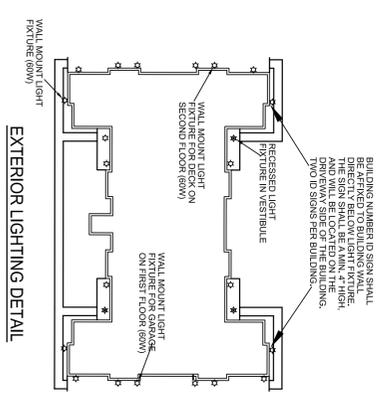
2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731
WWW.HARRISINC.NET

PREMIER JUNGWIRTH COURT ESTATES

VILLAGE OF SISTER BAY, DOOR COUNTY, WISCONSIN



DEVELOPMENT PLAN
SCALE 1" = 40'



- LINE TYPE LEGEND**
- PROPERTY LINE
 - - - EXISTING CONTOURS
 - - - PROPOSED CONTOURS
 - - - LIMITS OF EASEMENT
 - - - PUBLIC LAND SURVEY SECTION LINE
 - - - STREET CENTERLINE
 - - - PROPOSED SANITARY SEWER
 - - - PROPOSED STORM SEWER
 - - - PROPOSED WATER MAIN
 - - - EXISTING CHAIN LINK FENCE
 - - - BUILDING SETBACK LINE

SITE COVERAGE CALCULATIONS

SITE AREA = 221,637 SQ. FT. (5.09 ACRES)
 TOTAL NO. OF LOTS = 36
 DENSITY = 7.0 LOTS PER ACRE
 BUILDING FOOTPRINT = 20,266 SQ. FT.
 PAVEMENT AREA = 61,254 SQ. FT.
 GREEN AREA = 129,617 SQ. FT.
 % OPEN SPACE = 59%
 PARKING CALCULATION -
 36 INTERIOR GARAGE STALLS
 36 EXTERIOR STALLS

INDEX

C1.0	TITLE SHEET & DEVELOPMENT PLAN
C2.0	SITE GRADING & EROSION CONTROL PLAN
C2.1	EROSION CONTROL DETAILS
C3.0	SITE UTILITIES PLAN
C4.0	LANDSCAPE PLAN
C4.1	LANDSCAPE PLAN DETAILS

PROJECT:	PREMIER REAL ESTATE MANAGEMENT LLC PREMIER JUNGWIRTH COURT ESTATES	REV. NO.	DESCRIPTION	DATE	BY
LOCATION:	JUNGWIRTH COURT, VILLAGE OF SISTER BAY DOOR COUNTY, WISCONSIN				
DESCRIPTION:	TITLE SHEET & DEVELOPMENT PLAN				

THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT PROTECTION ACT OF 1990.

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

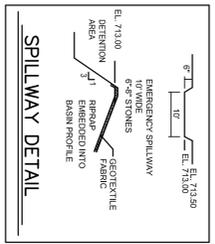
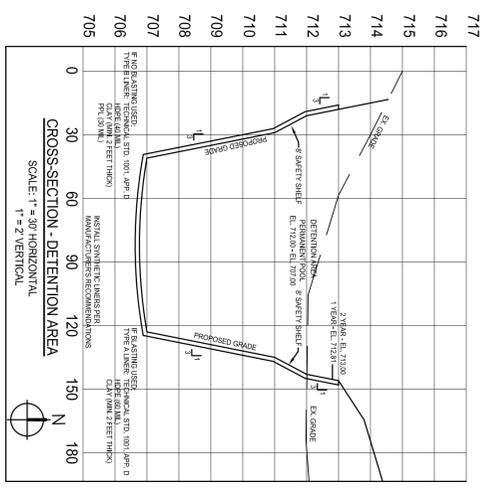
C1.0

PROJECT - STAIRS
7440

DATE: 12/23/14
SHEET: 1
DRAWN BY: TMMV
CHECKED BY: BR

PREMIER JUNGWIRTH COURT ESTATES

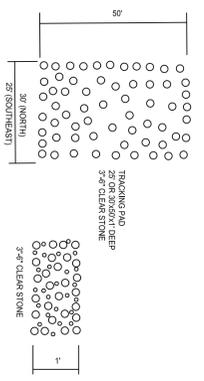
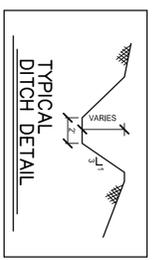
VILLAGE OF SISTER BAY, DOOR COUNTY, WISCONSIN



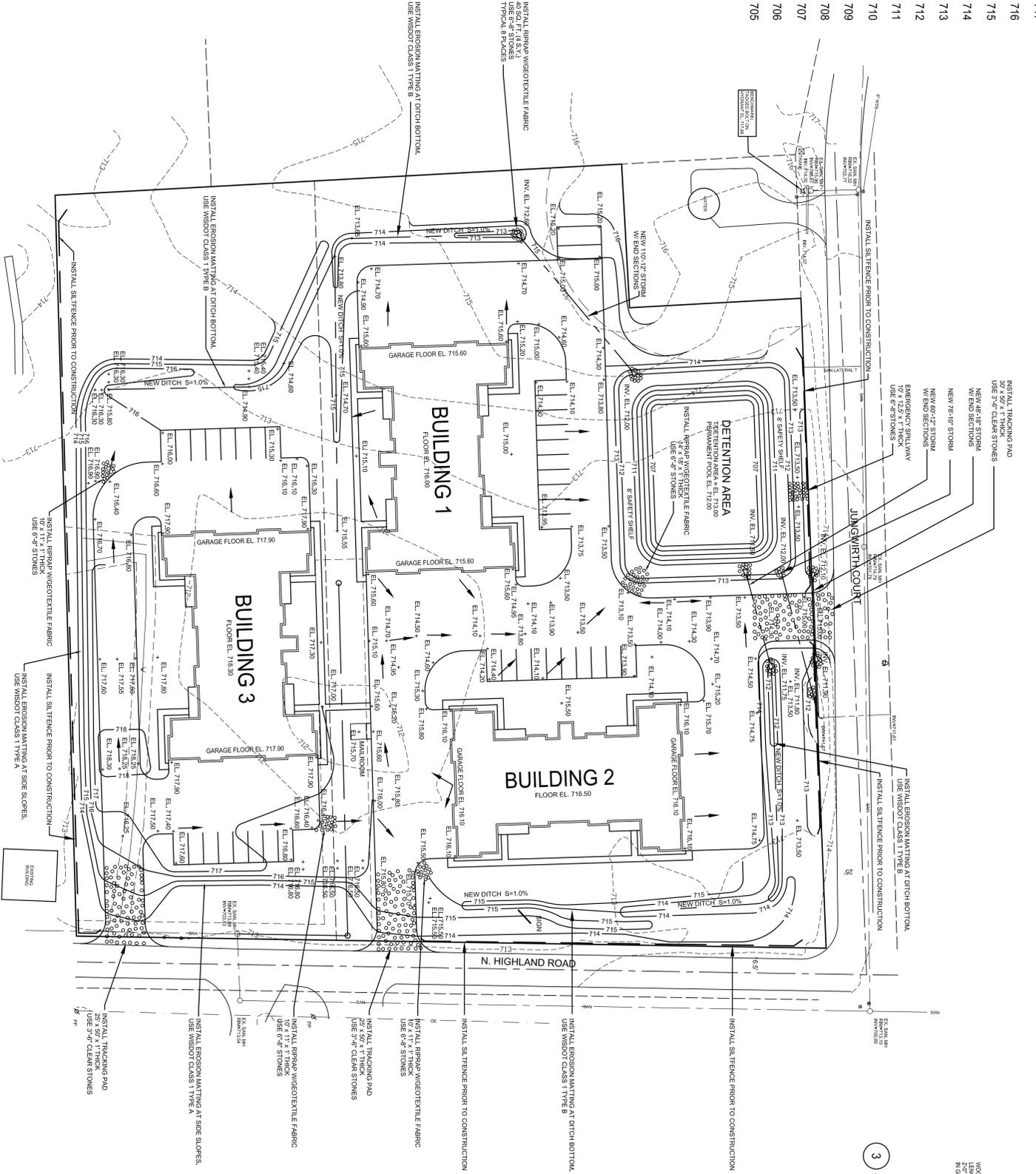
PEAK RUNOFF RATES

1 YEAR	2 YEAR
EXISTING 2.19 C.F.S.	2.26 C.F.S.
DEVELOPED 10.48 C.F.S.	12.24 C.F.S.
RESTRICTED 1.48 C.F.S.	2.00 C.F.S.

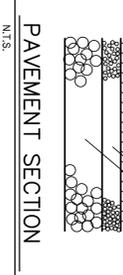
WISCONSIN MODEL - TOTAL SUSPENDED SOLIDS REMOVAL = 80.79% REQUIRED: 80%



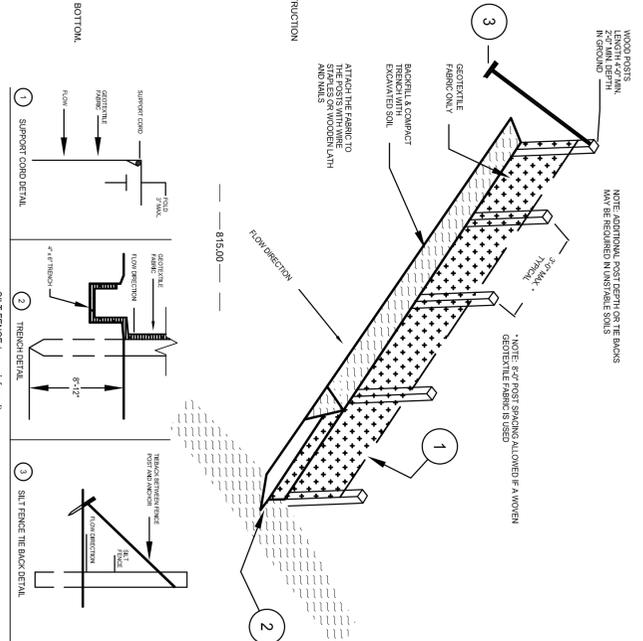
TRACKING PAD DETAIL
SCALE: NONE



GRADING & EROSION CONTROL PLAN
SCALE 1" = 40'



PAVEMENT SECTION
N.T.S.



SILT FENCE DETAIL
SCALE: NONE

EROSION CONTROL NOTES

1. All site construction shall obtain the Wisconsin Department of Natural Resources Erosion Control Permit.
2. All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Wisconsin Department of Natural Resources Erosion Control Manual and the WYRES General Permit for the site. Inspection reports shall be maintained.
3. All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or site-undisturbed areas. Sediment traps shall be installed around all soil stockpiles. Sediment traps shall be inspected and cleaned as necessary.
4. Weekly inspection and maintenance of all sediment control structures shall be performed. Sediment control structures shall be inspected after each rain event. Sediment control structures shall be inspected after each rain event. Sediment control structures shall be inspected after each rain event.
5. Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
6. Sediment control structures shall be removed and the areas served inspected for integrity. Any damaged structures shall be corrected immediately.
7. Control lines shall be installed at all construction sites to prevent tracking of mud. The control lines shall be installed at all construction sites to prevent tracking of mud. The control lines shall be installed at all construction sites to prevent tracking of mud.
8. Tracked soil shall be collected daily from paved roads located near the construction site.
9. Dewatering shall conform to DNR Technical Standard 106T.
10. When installing the fabric, the fabric shall be used to protect from wind-blown debris. The fabric shall be secured to the ground with 6" x 6" wooden posts. The fabric shall be secured to the ground with 6" x 6" wooden posts. The fabric shall be secured to the ground with 6" x 6" wooden posts.
11. The fabric shall be secured to the ground with 6" x 6" wooden posts. The fabric shall be secured to the ground with 6" x 6" wooden posts. The fabric shall be secured to the ground with 6" x 6" wooden posts.
12. Sediment control for pipeline construction:
 - a. Excavated trench material shall be placed on the right side of the trench.
 - b. Excavated trench material shall be placed on the right side of the trench.
 - c. Excavated trench material shall be placed on the right side of the trench.
13. All disturbed ground outside of the emergency construction area at a minimum, be temporary seeded with grass or other vegetation. The temporary seeded areas shall be inspected and maintained as follows:
 - a. The existing grass seed shall be maintained as a minimum during construction.
 - b. The existing grass seed shall be maintained as a minimum during construction.
 - c. The existing grass seed shall be maintained as a minimum during construction.
14. The existing grass seed shall be maintained as a minimum during construction. The existing grass seed shall be maintained as a minimum during construction. The existing grass seed shall be maintained as a minimum during construction.
15. All erosion control practices damaged due to winter weather shall be reestablished immediately.
16. The Construction Site Erosion Control/Sediment Management Plan shall be kept on-site and with the binder.
17. An Inspection Log shall be maintained and kept on-site.
18. Materials shall be stored in a manner that prevents them from blowing away.
19. All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
20. No access control devices shall be installed in or near the ditch area. Once installed the access control devices shall be inspected and maintained as follows:
 - a. The access control devices shall be inspected and maintained as follows.
 - b. The access control devices shall be inspected and maintained as follows.
 - c. The access control devices shall be inspected and maintained as follows.
21. Office vehicles shall be maintained in a manner that prevents them from blowing away. Office vehicles shall be maintained in a manner that prevents them from blowing away. Office vehicles shall be maintained in a manner that prevents them from blowing away.

PROJECT:	PREMIER REAL ESTATE MANAGEMENT LLC PREMIER JUNGWIRTH COURT ESTATES	DATE:		BY:	
LOCATION:	JUNGWIRTH COURT, VILLAGE OF SISTER BAY DOOR COUNTY, WISCONSIN	DATE:	2/21/15	BY:	
DESCRIPTION:	GRADING & EROSION CONTROL PLAN	DATE:	2/21/15	BY:	
PROJECT STATUS:	7440	DATE:	2/21/15	BY:	

PREMIER
REAL ESTATE MANAGEMENT, LLC

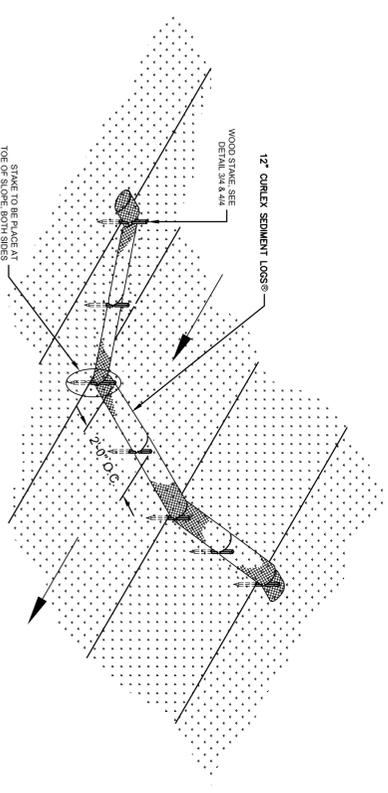
THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1990.

HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS

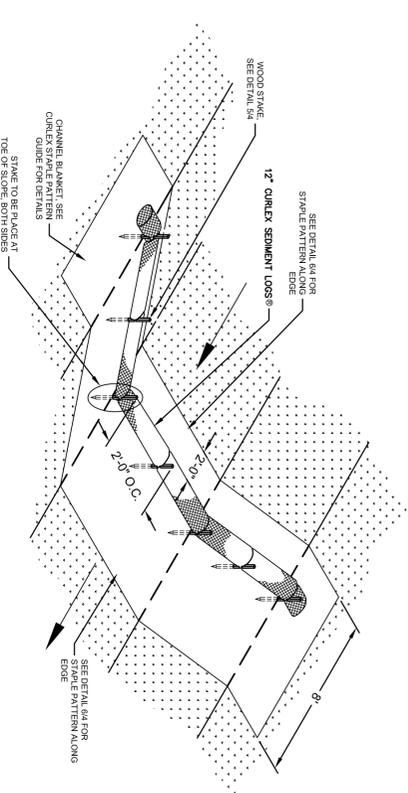
2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

PREMIER JUNGWIRTH COURT ESTATES

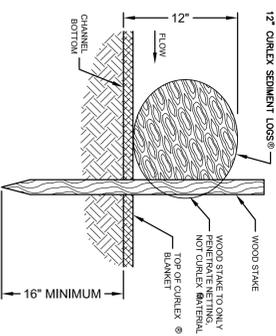
VILLAGE OF SISTER BAY, DOOR COUNTY, WISCONSIN



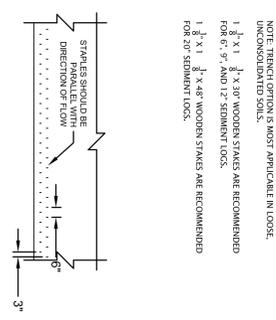
**CURLEX SEDIMENT LOGS
DETAIL (NO BLANKET)**
SCALE: NONE



**CURLEX SEDIMENT LOGS
DETAIL (WITH BLANKET)**
SCALE: NONE
NOT RECOMMENDED FOR SLOPES LESS THAN 1%
PER OUR TECHNICAL STANDARD NO. 1092



**STAKE DETAIL
(NO TRENCH)**
SCALE: NONE

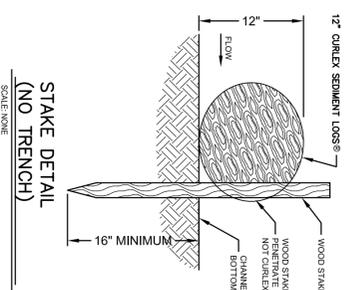


**CHANNEL TERMINATION
PLAN**
SCALE: NONE

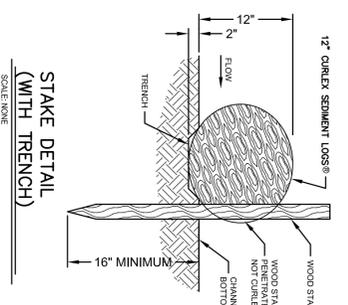
NOTE: TRENCH OPTION IS MOST APPLICABLE IN LOOSE, UNCONSOLIDATED SOILS.
1 1/2" x 1 1/2" x 36" WOODEN STAKES ARE RECOMMENDED FOR 6% AND 12% SEDIMENT LOGS.
1 1/2" x 1 1/2" x 48" WOODEN STAKES ARE RECOMMENDED FOR 20% SEDIMENT LOGS.

RECOMMENDED PLACEMENT INTERVAL
BETWEEN CURLEX SEDIMENT LOGS

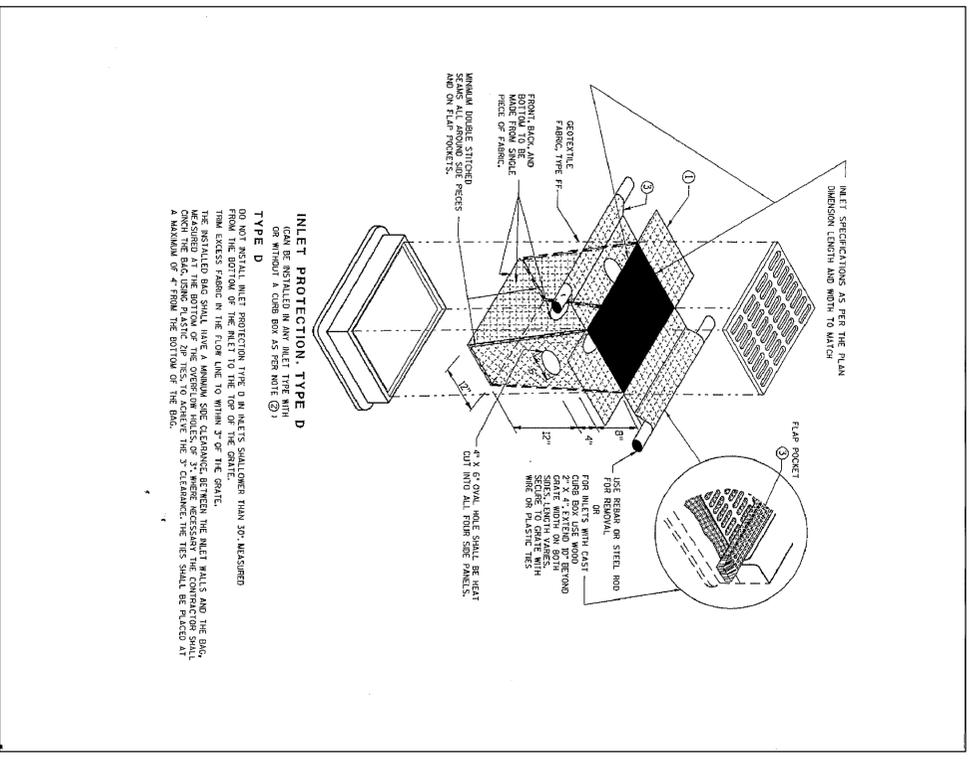
CHANNEL GRADIENT (%) X 100 = CURLEX SEDIMENT LOGS SPACING (ft)
OF INSTALLED CURLEX SEDIMENT LOGS (D/N)



**STAKE DETAIL
(NO TRENCH)**
SCALE: NONE

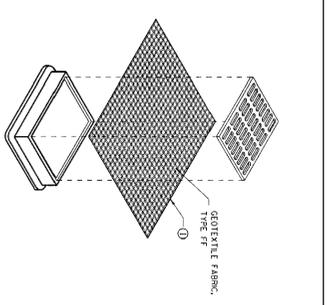


**STAKE DETAIL
(WITH TRENCH)**
SCALE: NONE



INLET PROTECTION, TYPE D
CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE (2)

TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN NETS SMALLER THAN 30" WIDEBED FROM THE BOTTOM OF THE NET TO THE TOP OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM 3" CLEARANCE BETWEEN THE NET WALLS AND THE BAG.
THE BAG SHALL BE PLACED AT THE BOTTOM OF THE OVERFLOW HOLES, OR 3" WHERE NECESSARY THE CONNECTION SHALL BE MADE TO THE BOTTOM OF THE BAG.
A MINIMUM OF 5" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
CAN BE INSTALLED IN ANY INLET WITH/OUT A CURB BOX

INSTALLATION NOTES
TYPE B
HOW EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CURB BOX SHALL BE PLACED AT THE BOTTOM OF THE OVERFLOW HOLES OR 3" WHERE NECESSARY THE CONNECTION SHALL BE MADE TO THE BOTTOM OF THE BAG.
A MINIMUM OF 5" FROM THE BOTTOM OF THE BAG.

PROJECT:	PREMIER REAL ESTATE MANAGEMENT LLC PREMIER JUNGWIRTH COURT ESTATES	REV. NO.	DESCRIPTION	DATE	BY
LOCATION:	JUNGWIRTH COURT, VILLAGE OF SISTER BAY DOOR COUNTY, WISCONSIN				
DESCRIPTION:	EROSION CONTROL DETAILS				

C2.1

PROJECT STATUS
7440

PREMIER

REAL ESTATE MANAGEMENT, LLC

THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1990.

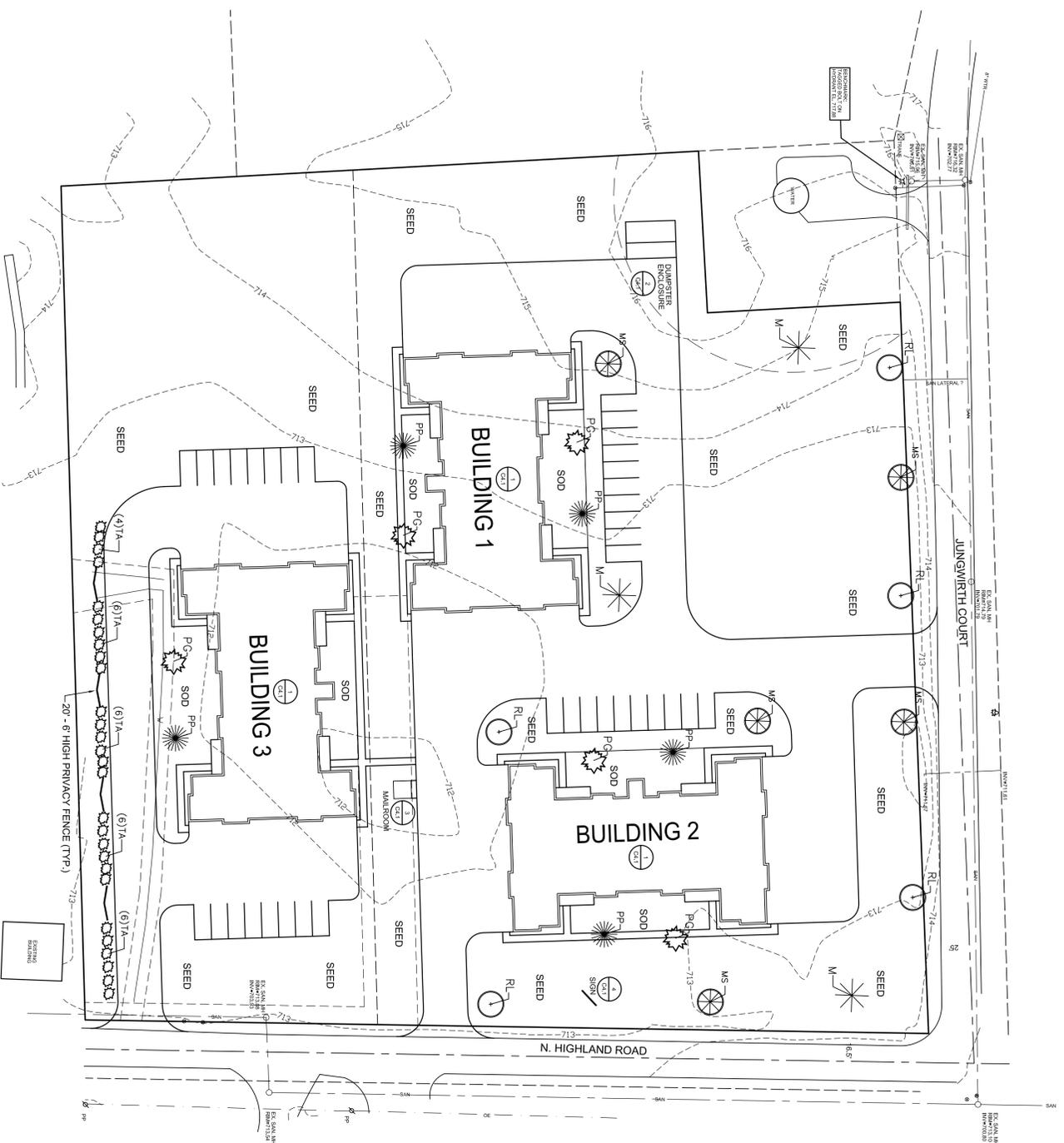
HARRIS & ASSOCIATES, INC.

CONSULTING ENGINEERS
AND LAND SURVEYORS

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

PREMIER JUNGWIRTH COURT ESTATES

VILLAGE OF SISTER BAY, DOOR COUNTY, WISCONSIN



PLANT SCHEDULE

EVERGREEN TREES

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY	QUANTITY / SPACING
PG	PICEA GLAUCA DENSA/TA BLACK HILLS SPRUCE	6'	20-40'	5 / SPACE PER PLAN
PP	PICEA PLUNGENS COLORADO SPRUCE	4'	20-40'	5 / SPACE PER PLAN
TA	THUJA OCCIDENTALIS TECHN TECHNY ARBORVITAE	2'	4'-6'	28 / SPACE PER PLAN

TREES

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY	QUANTITY / SPACING
RL	AMERICANA REDMOND REDMOND LINDEN	2 1/2" CAL	50'	5 / SPACE PER PLAN
M	MALUS DONALD WYMAN CRABAPPLE	2" CAL	20'	3 / SPACE PER PLAN
MS	MALUS SARGENTII SARGENT CRABAPPLE	2" CAL	6'-10'	5 / SPACE PER PLAN



- LANDSCAPE NOTES:**
1. VERIFY UTILITIES BEFORE BEGINNING ANY WORK.
 2. ALL PLANT BEDS SHALL HAVE 6" TOPSOIL, FABRIC WEED BARRIER AND 4" CONTINUOUS LAYER OF CEDAR HARDWOOD MULCH. ALL TREES AND LARGE SHRUBS IN LAWN AREAS AND BERMED PLANTING AREAS SHALL BE MULCHED WITH A 4" HARDWOOD MULCH RING. PROVIDE PLASTIC LANDSCAPE EDGING AROUND ALL PLANTING BEDS AS PER PLANS. PLASTIC EDGING SHALL BE LANDSCAPE CONTRACTOR GRADE OLY OLA BLACKLACK PLASTIC EDGING.
 3. ALL TREES SHALL BE B&B, STAKED AND GUYED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSEYWENS STANDARDS.
 4. NEW AND DISTURBED LAWN AREAS SHALL BE RESTORED WITH SEED AND MULCH OR HYDRO-SEEDING.
 5. MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. DESIGNER SHOULD BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
 6. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED SITE WORK. IN CASE OF DISCREPANCIES BETWEEN PLAN AND PLANT COUNTS, PLAN SHALL GOVERN.
 7. ALL LANDSCAPING WITHIN THE FRONT YARD SETBACK SHALL HAVE THE FOLLOWING RESTRICTIONS: 1) SHRUBS SHALL BE MAINTAINED AT A HEIGHT OF NO GREATER THAN THREE (3) FEET; 2) TREES MUST HAVE A CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE FIRST BRANCH OF A MINIMUM OF SIX (6) FEET.

PROJECT:	PREMIER REAL ESTATE MANAGEMENT LLC PREMIER JUNGWIRTH COURT ESTATES	REV. NO.	DESCRIPTION	DATE	BY
LOCATION:	JUNGWIRTH COURT, VILLAGE OF SISTER BAY DOOR COUNTY, WISCONSIN				
DESCRIPTION:	LANDSCAPE PLAN				

PREMIER
REAL ESTATE MANAGEMENT, LLC

THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1990.

HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS
AND LAND SURVEYORS

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

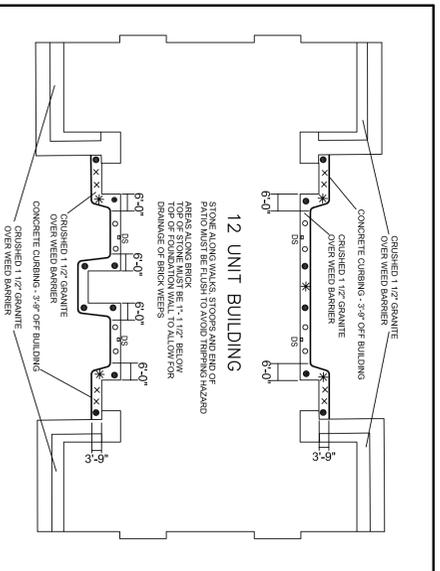
C4.0

PROJECT STATUS
7440

DATE: 12/31/14
DRAWN BY: TMMV
CHECKED BY: [Signature]

PREMIER JUNGWIRTH COURT ESTATES

VILLAGE OF SISTER BAY, DOOR COUNTY, WISCONSIN



PLANT SCHEDULE

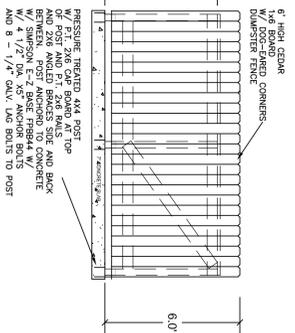
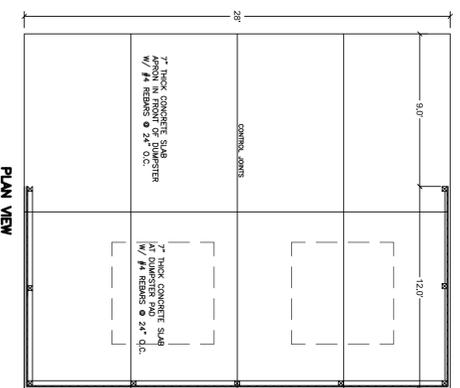
KEY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	QUANTITY
○	POTENTILLA FRUTICOSA	GOLDFINGER	3 GAL.	16
●	THUJA OCCIDENTALIS	HETZ MIDGEF	5 GAL.	28
*	VIBURNUM BENTAMIANUM	CORSTON	5 GAL.	12
X	SPINEXIA BIUMULA	GOLDFLAME	3 GAL.	10

PERENNIALS

KEY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	QUANTITY
SD	HEMIOCALLIS SIVYLLI	DE COY	1 GAL.	--

3 ROLLS 4'X30'X2 OZ. WEED BARRIER
2 ROLLS 20' BLACK EDGING WITH STAKES PROFESSIONAL GRADE

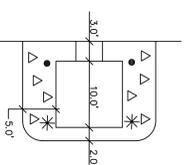
1 BUILDING PLANTING DETAIL
CA.1 N.T.S.



2 DUMPSTER ENCLOSURE DETAIL
CA.1 N.T.S.

MAILBOX PLANT SCHEDULE

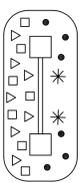
KEY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	QUANTITY
△	HEMIOCALLIS SIVYLLI	DE COY	1 GAL.	8
*	VIBURNUM BENTAMIANUM	CORSTON	5 GAL.	2
●	THUJA OCCIDENTALIS	HETZ MIDGEF	5 GAL.	2



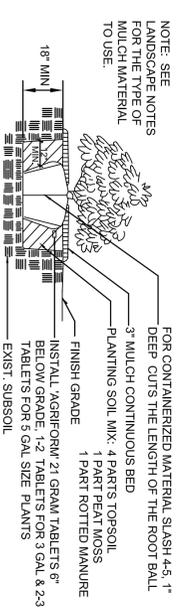
3 MAILBOX PLANTING DETAIL
CA.1 N.T.S.

PROJECT SIGN PLANT SCHEDULE

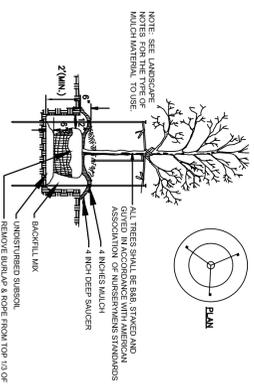
KEY	BOTANICAL NAME	COMMON NAME	PLANT SIZE	QUANTITY
△	HEMIOCALLIS SIVYLLI	DE COY	1 GAL.	7
□	STELLARIA ORO	WISCONSIN	1 GAL.	7
*	VIBURNUM BENTAMIANUM	CORSTON	5 GAL.	2
●	THUJA OCCIDENTALIS	HETZ MIDGEF	5 GAL.	8



4 PROJECT SIGN PLANTING DETAIL
CA.1 N.T.S.



5 SHRUB PLANTING DETAIL
CA.1 N.T.S.



6 TREE PLANTING DETAIL
CA.1 N.T.S.

PREMIER REAL ESTATE MANAGEMENT, LLC
19105 W. CAPITOL DR., STE. 200
BROOKFIELD, WISCONSIN 53045
(262) 790-4560

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: PREMIER REAL ESTATE MANAGEMENT LLC
PREMIER JUNGWIRTH COURT ESTATES

LOCATION: JUNGWIRTH COURT, VILLAGE OF SISTER BAY
DOOR COUNTY, WISCONSIN

DESCRIPTION: LANDSCAPE PLAN DETAILS

DATE: 12/31/14
DRAWN BY: TMMV
CHECKED BY:
CA.1
SHEET: 7440
PROJECT STATUS



HARRIS & ASSOCIATES, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS

2718 NORTH MEADE ST.
APPLETON, WI 54911
TEL: (920) 733-8377
FAX: (920) 733-4731

STORMWATER MANAGEMENT PLAN
JUNGWIRTH COURT ESTATES
VILLAGE OF SISTER BAY
February 3, 2015

TABLE OF CONTENTS

Stormwater Management Narrative

Appendix A – Stormwater Calculations

Appendix B – Winslamm Output

Appendix C – Operations and Maintenance Manual

STORMWATER/EROSION CONTROL
NARRATIVE

INTRODUCTION

The Jungwirth Court Estates property is in the southwest ¼ of the southwest ¼ of Section 5, T31N, R28E, Village of Sister Bay, Door County, Wisconsin.

The site is on the south side of Jungwirth Court and west of Highland Road.

The proposed project includes three (3) 12 unit multi-family buildings with attached garages, driveways and parking areas on a 5.08 acre parcel.

EXISTING SITE CONDITIONS

The soil is Sommerville loam.

The existing site is an old baseball field. The site slopes from the east and west to the middle of the site. A cross road culvert under Jungwirth Court flows from south to the north.

STORMWATER MANAGEMENT

The detention area is located in the northwest corner of the site. Ditches and the grading of the pavement direct the runoff to the detention area.

The TR-55 method is used for the stormwater calculations. Meadow is used as the existing condition.

The developed runoff rates are lower than the existing runoff rates for the 1-year and 2-year storms.

The wet detention area removes over 80% of the Total Suspended Solids.

See Appendix A for Stormwater Calculations

See Appendix B for Winslamm Results

See Appendix C for Operations and Maintenance Manual

The owner is responsible for the operation and maintenance of the detention area.

Page 2

EROSION CONTROL

Silt fence will be installed at the toe of the slope of the disturbed areas. Tracking pads will be installed at the exits of the site. Erosion matting will be installed at slopes steeper than 5:1 and at the ditch bottoms. The disturbed areas will be seeded and mulched in a timely manner. The Best Management Practices are designed in accordance with The WDNR Technical Standards.

The total parcel area is 5.08 acres and the estimated disturbed area is 4.5 acres.

CONSTRUCTION SEQUENCE

- a. Install silt fence at the toe of slopes of the disturbed areas
- b. Install gravel tracking pads
- c. Remove and stockpile topsoil
- d. Install utilities
- e. Construct detention area
- f. Grade, fill and place all gravel in roads
- g. Construct buildings
- h. Install asphalt pavement (binder course)
- i. Seed and mulch all disturbed areas
- j. Remove erosion control measures, after stabilization of the disturbed areas

SUMMARY OF RESULTS

Peak Runoff Rates

	<u>EXISTING</u>	<u>DEVELOPED</u>	<u>RESTRICTED</u>
1 YEAR	2.19 C.F.S.	10.45 C.F.S.	1.46 C.F.S.
2 YEAR	2.95 C.F.S.	12.64 C.F.S.	2.00 C.F.S.

WINSLAMM MODEL: Total Suspended Solids Removal = 80.79%

APPENDIX A

Stormwater Calculations



BY CLT DATE 1-7-15 SUBJECT PREMIER REAL ESTATE SHEET NO. 1 OF 3
CK. REVISOR 1-30-15 DATE 1-30-15 JUNGWIRTH COURT - SISTER BAY JOB NO. _____

STORMWATER CALCULATIONS

CALCULATE EXISTING AND DEVELOPED RUNOFF RATES FOR THE 1 YEAR AND 2 YEAR STORMS AND DESIGN DETENTION, USE MEADOW AS EXISTING CONDITION.

USE TR-55 METHOD

1-30-15: ADD LAND TO THE SOUTH AND 1 BUILDING.

EXISTING

AREA = $\frac{221,315 \times 5.08}{43560} = 3.27$ ACRES

HYDROLOGIC GROUP
"D"

SOIL TYPE: SUMMERVILLE LOAM, SVA

LAND USE: MEADOW

RCN = 78

TIME OF CONCENTRATION

SHEET FLOW, 300'; $S = \frac{716.35 - 711.63}{320} = 0.015$, GRASS-RANGE

SHALLOW CONCENTRATED, 20'; $S = 0.015$, UNPAVED

$T_c = 0.50$ hr

DISCHARGE

1 YR
1.44 C.F.S.
2.19

2 YR
1.90 C.F.S.
2.95

BY CLT DATE 1-7-15 SUBJECT PREMIER REAL ESTATE SHEET NO. 2 OF 3
 CK. REVISOR 1-30-15 DATE JUNGWIRTH CT - SISTER BAY JOB NO. _____

DEVELOPED

AREA = $\frac{5.08}{3.27}$ ACRES

IMPERVIOUS: $\frac{98875}{6670} \text{ SQFT} \div \frac{43560}{2.27} = 1.52$ ACRES

GRASS (OPEN-GOOD): $\frac{5.08 - 2.27}{3.27 - 1.52} = \frac{2.81}{1.75}$ ACRES

RUN = $\frac{98 \left(\frac{2.27}{1.52}\right) + 80 \left(\frac{2.81}{1.75}\right)}{\frac{3.27}{5.08}} = 88.90$

TIME OF CONCENTRATION

SHEET, 300', S = 0.01 SMOOTH SURFACE

SHALLOW CONCENTRATED, 75', S = 0.01 PAVED

SHALLOW CONCENTRATED, 60', S = 0.01 UNPAVED

$T_c = 0.09$ hr

DISCHARGE

1 YR
 $\frac{5.95}{10.45}$ C.F.S.

2 YR
 $\frac{7.32}{12.64}$ C.F.S.

STORAGE VOLUME REQUIRED

1 YEAR $Q_{IN} = \frac{10.45}{0.57} = 5.95$ C.F.S. $Q_{OUT} = \frac{2.19}{1.41} = 1.55$ C.F.S.

VOL. = 0.48 IN
 STORAGE VOL. = $0.48 \text{ IN} \times \frac{1'}{12 \text{ IN}} \times 3.27 \text{ AC} \times 43560 \frac{\text{SQFT}}{\text{AC}} = 5698$ CUFT

2 YEAR $Q_{IN} = \frac{12.64}{7.32} = 1.73$ C.F.S. $Q_{OUT} = \frac{2.95}{1.98} = 1.49$ C.F.S.

VOL. = 0.65 IN
 STORAGE VOL. = $0.65 \text{ IN} \times \frac{1'}{12 \text{ IN}} \times 3.27 \text{ AC} \times 43560 \frac{\text{SQFT}}{\text{AC}} = 6647$ CUFT

BY CLT DATE 1-13-15 SUBJECT PREMIER REAL ESTATE SHEET NO. 3 OF 3
 CK. REVISOR DATE 1-30-15 JUNGWIRTH CT - SISTER BAY JOB NO. _____

RETENTION DESIGN

VOLUME = $\frac{1}{3} H [A+B + \sqrt{A \cdot B}]$

ELEVATION	AREA	ΔVOL.	ΣVOL.
712	1320 13745		
713	12765 15115		
			12035 14425

712-713 VOL. = $\frac{1}{3} (1) \left[\frac{13745 + 15115 + \sqrt{13745 \cdot 15115}}{13745 + 15115} \right] = 14425$ CUFF

~~12035~~ > ~~6647~~ GOOD
 14425 11986

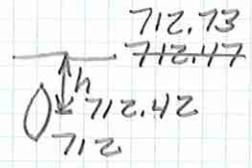
OUTLET PIPE DESIGN

1 YEAR
 $Z = 2.19$
 $Q_{ALLOWABLE} = 1.44$ C.F.S.

WATER LEVEL @ STORAGE VOL = $\frac{10511}{5698}$ CUFF
 $\frac{10511 - 5698 - 0}{14425 - 12035 - 0} = \frac{0.73}{0.47}$ EL. $\frac{712.73}{712.47}$

TRY 10" ORIFICE @ INV. EL. 712.00

$Q = C A \sqrt{2gh}$ $A_{10"} = \pi (0.41666)^2 = 0.545$ SQFT
 $C = 0.6$

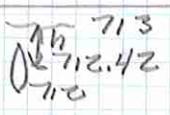


$Q_{10"} = 0.6 (0.545) \sqrt{2 (32.2) (712.47 - 712.42)} = 1.46$ C.F.S. < $\frac{2.19}{1.44}$ C.F.S.
 GOOD

2 YEAR
 $Z = 2.95$
 $Q_{ALLOWABLE} = 1.90$ C.F.S.

CAPACITY OF 10" ORIFICE @ INV. EL. 712.00

$A_{10"} = 0.545$ SQFT
 $C = 0.6$



$Q_{10"} = 0.6 (0.545) \sqrt{64.4 (713 - 712.42)} = 2.00$ C.F.S. < $\frac{2.95}{1.90}$ C.F.S.
 GOOD

USE 1-10" ORIFICE @ INV. EL. 712.00

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Door County, Wisconsin (WI029)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
SvA	Summerville loam, 0 to 2 percent slopes	D	3.6	100.0%
Totals for Area of Interest			3.6	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

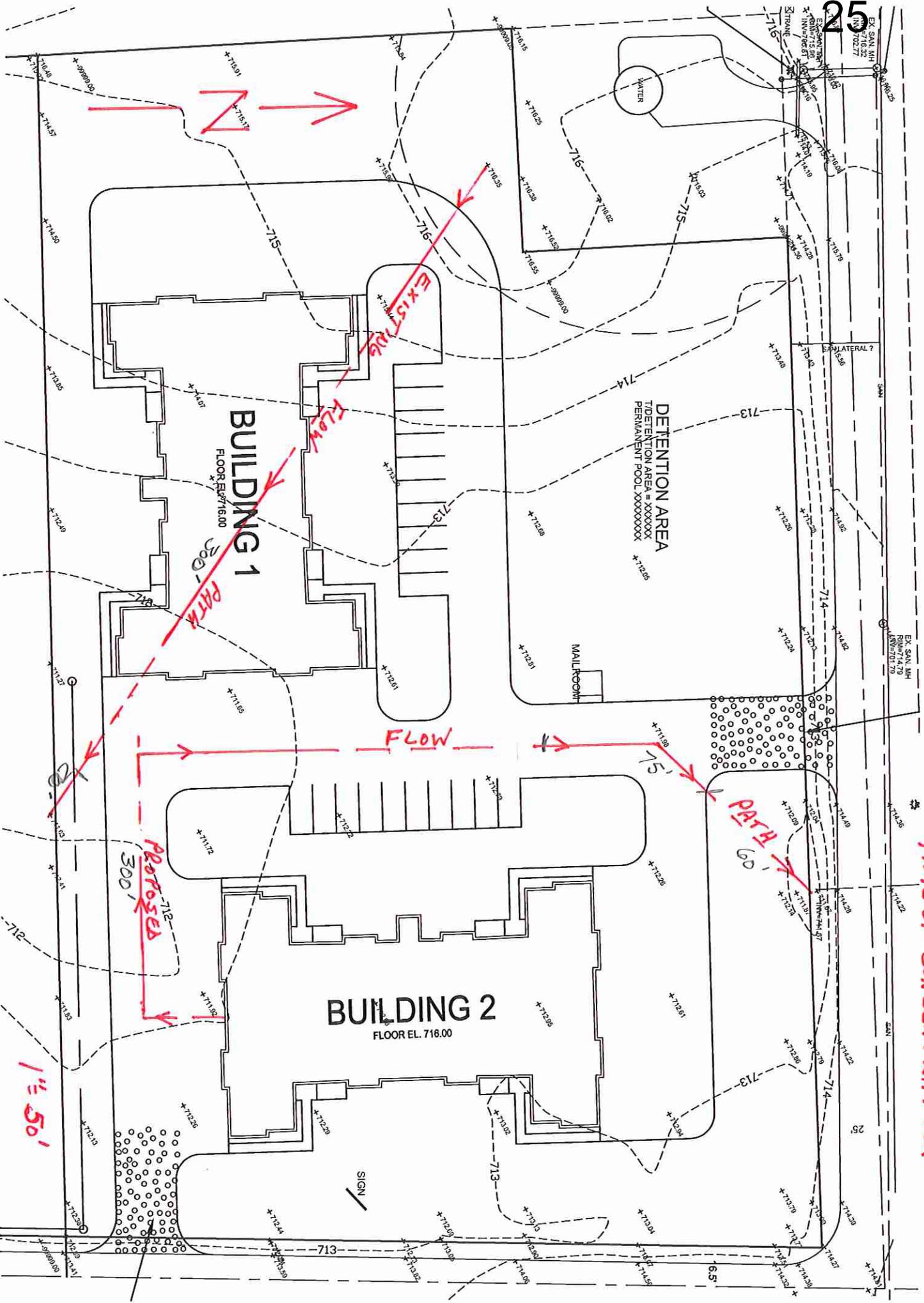
Component Percent Cutoff: None Specified



Hydrologic Soil Group—Door County, Wisconsin

Map Scale: 1:948 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 16N WGS84



TIME OF CONCENTRATION

STORAGE VOLUME FOR DETENTION BASINS

Version 2.10

Project : NICOLET LUMBER

User: CLT

Date: 01-30-2015

County : DOOR

State: WI

Checked: _____

Date: _____

Subtitle: JUNGWIRTH COURT

SISTER BAY

EXISTING

Drainage Area: 5.08 Acres

Rainfall Frequency: 1 years

Rainfall-Type: II

Runoff: 0.6 inches

Peak Inflow: 2.19 cfs

Peak Outflow: 1.00 cfs

Detention Basin Storage Volume: 0.18 inches or 0.1 acre feet

RUNOFF CURVE NUMBER COMPUTATION

Version 2.10

Project : NICOLET LUMBER

User: CLT

Date: 01-30-2015

County : DOOR

State: WI

Checked: _____

Date: _____

Subtitle: JUNGWIRTH COURT

SISTER BAY

DEVELOPED

COVER DESCRIPTION	Hydrologic Soil Group			
	A	B	C	D
	Acres (CN)			
FULLY DEVELOPED URBAN AREAS (Veg Estab.)				
Open space (Lawns, parks etc.)				
Good condition; grass cover > 75%	-	-	-	2.27 (80)
Impervious Areas				
Paved parking lots, roofs, driveways	-	-	-	2.81 (98)
Total Area (by Hydrologic Soil Group)				5.08 =====

TOTAL DRAINAGE AREA: 5.08 Acres

WEIGHTED CURVE NUMBER: 90*

* - Generated for use by GRAPHIC method

GRAPHICAL PEAK DISCHARGE METHOD

Version 2.10

Project : NICOLET LUMBER

User: CLT

Date: 01-30-2015

County : DOOR

State: WI

Checked: _____

Date: _____

Subtitle: JUNGWIRTH COURT

SISTER BAY

DEVELOPED

Data: Drainage Area : 5.08 * Acres
 Runoff Curve Number : 90 *
 Time of Concentration: 0.09 * Hours
 Rainfall Type : II
 Pond and Swamp Area : NONE

Storm Number	1	2	3	4	5	6	7
Frequency (yrs)	1	2	5	10	25	50	100
24-Hr Rainfall (in)	2.2	2.5	3.3	3.8	4.4	4.9	5.3
Ia/P Ratio	0.10	0.09	0.07	0.06	0.05	0.05	0.04
Used	0.10	0.10	0.10	0.10	0.10	0.10	0.10
Runoff (in)	1.27	1.53	2.26	2.73	3.30	3.78	4.17
Unit Peak Discharge (cfs/acre/in)	1.625	1.625	1.625	1.625	1.625	1.625	1.625
Pond and Swamp Factor 0.0% Ponds Used	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Peak Discharge (cfs)	10	13	19	23	27	31	34

* - Value(s) provided from TR-55 system routines

STORAGE VOLUME FOR DETENTION BASINS

Version 2.10

Project : NICOLET LUMBER

User: CLT

Date: 01-30-2015

County : DOOR

State: WI

Checked: _____

Date: _____

Subtitle: JUNGWIRTH COURT

SISTER BAY

DEVELOPED

Drainage Area: 5.08 Acres

Rainfall Frequency: 1 years

Rainfall-Type: II

Runoff: 1.3 inches

Peak Inflow: 10.45 cfs

Peak Outflow: 2.19 cfs

Detention Basin Storage Volume: 0.57 inches or 0.2 acre feet

STORAGE VOLUME FOR DETENTION BASINS

Version 2.10

Project : NICOLET LUMBER

User: CLT

Date: 01-30-2015

County : DOOR

State: WI

Checked: _____

Date: _____

Subtitle: JUNGWIRTH COURT

SISTER BAY

DEVELOPED

Drainage Area: 5.08 Acres

Rainfall Frequency: 2 years

Rainfall-Type: II

Runoff: 1.5 inches

Peak Inflow: 12.64 cfs

Peak Outflow: 2.95 cfs

Detention Basin Storage Volume: 0.65 inches or 0.3 acre feet

APPENDIX B

Winslamm Output

SLAMM for Windows Version 9.4.0
(c) Copyright Robert Pitt and John Voorhees 2003
All Rights Reserved

Data file name: C:\Program Files\WinSLAMM\DAT FILES\JUNGWIRTH.DAT
Data file description: PREMIER JUNGWIRTH COURT SISTER BAY
Rain file name: C:\Program Files\WinSLAMM\Rain Files\WI Green Bay 69.RAN
Particulate Solids Concentration file name: C:\Program
Files\WinSLAMM\WI_AVG01.psc
Runoff Coefficient file name: C:\Program Files\WinSLAMM\WI_SL06 Dec06.rsv
Particulate Residue Delivery file name: C:\Program Files\WinSLAMM\WI_DLV01.prr
Residential Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
Indust Dec06.std
Institutional Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
Indust Dec06.std
Commercial Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
Indust Dec06.std
Industrial Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
Indust Dec06.std
Other Urban Street Delivery file name: C:\Program Files\WinSLAMM\WI_Res and
Other Urban Dec06.std
Freeway Street Delivery file name: C:\Program Files\WinSLAMM\Freeway Dec06.std
Pollutant Relative Concentration file name: C:\Program
Files\WinSLAMM\WI_GEO01.ppd
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass
Balance: False
Model Run Start Date: 03/29/69 Model Run End Date: 11/25/69
Date of run: 01-30-2015 Time of run: 11:46:38
Total Area Modeled (acres): 5.08
Years in Model Run: 0.63

Particulate	Particulate	Percent	Runoff	Percent
Conc.	Yield	Solids	Volume	Runoff
(mg/L)	(lbs)	Reduction	(cu ft)	Volume
				Reduction
Source Area	Total without Controls:		152577	0 %
104.9	999.6	0 %		
Total Before Drainage System:			152576	0.00%
104.9	999.6	0.00%		
Total After Drainage System:			152576	0.00%
104.9	999.6	0.00%		
Total After Outfall Controls:			152576	0.00%
20.16	192.0	80.79%		
Annualized Total After Outfall Controls:			242131	
304.8				

Data file name: C:\Program Files\WinSLAMM\DAT FILES\JUNGWIRTH.DAT
 SLAMM Version 9.4.0
 Rain file name: C:\Program Files\WinSLAMM\Rain Files\WI Green Bay 69.RAN
 Particulate Solids Concentration file name: C:\Program Files\WinSLAMM\WI_AVG01.psc
 Runoff Coefficient file name: C:\Program Files\WinSLAMM\WI_SL06 Dec06.rsv
 Particulate Residue Delivery file name: C:\Program Files\WinSLAMM\WI_DLV01.prr
 Residential Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
 Indust Dec06.std
 Institutional Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
 Indust Dec06.std
 Commercial Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
 Indust Dec06.std
 Industrial Street Delivery file name: C:\Program Files\WinSLAMM\WI_Com Inst
 Indust Dec06.std
 Other Urban Street Delivery file name: C:\Program Files\WinSLAMM\WI_Res and
 Other Urban Dec06.std
 Freeway Street Delivery file name: C:\Program Files\WinSLAMM\Freeway Dec06.std
 Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass
 Balance: False
 Pollutant Relative Concentration file name: C:\Program Files\WinSLAMM\WI_GEO01.ppd
 Seed for random number generator: -42
 Study period starting date: 03/29/69 Study period ending date: 11/25/69
 Date: 01-30-2015 Time: 11:46:50
 Fraction of each type of Drainage System serving study area:
 1. Grass Swales 0
 2. Undeveloped roadside 0
 Curb and Gutters, 'valleys', or sealed swales in:
 3. Poor condition (or very flat) 0
 4. Fair condition 1
 5. Good condition (or very steep) 0
 Site information:
 PREMIER JUNGWIRTH COURT SISTER BAY

Source Area	<==== Areas for each Source (acres) =====>				
	Resi- dential Areas	Institu- tional Areas	Commercial Areas	Industrial Areas	Other Urban Areas
Roofs 1	0.000	0.000	0.670	0.000	0.000
Roofs 2	0.000	0.000	0.000	0.000	0.000
Roofs 3	0.000	0.000	0.000	0.000	0.000
Roofs 4	0.000	0.000	0.000	0.000	0.000
Roofs 5	0.000	0.000	0.000	0.000	0.000
Paved Parking/Storage 1	0.000	0.000	1.600	0.000	0.000
Paved Parking/Storage 2	0.000	0.000	0.000	0.000	0.000
Paved Parking/Storage 3	0.000	0.000	0.000	0.000	0.000
Unpaved Prkng/Storage 1	0.000	0.000	0.000	0.000	0.000
Unpaved Prkng/Storage 2	0.000	0.000	0.000	0.000	0.000
Playground 1	0.000	0.000	0.000	0.000	0.000
Playground 2	0.000	0.000	0.000	0.000	0.000
Driveways 1	0.000	0.000	0.000	0.000	0.000
Driveways 2	0.000	0.000	0.000	0.000	0.000
Driveways 3	0.000	0.000	0.000	0.000	0.000
Sidewalks/Walks 1	0.000	0.000	0.000	0.000	0.000
Sidewalks/Walks 2	0.000	0.000	0.000	0.000	0.000
Street Area 1	0.000	0.000	0.000	0.000	0.000

Street Area 2	0.000	0.000	0.000	0.000	0.000
Street Area 3	0.000	0.000	0.000	0.000	0.000
Large Landscaped Area 1	0.000	0.000	0.000	0.000	0.000
Large Landscaped Area 2	0.000	0.000	0.000	0.000	0.000
Undeveloped Area	0.000	0.000	0.000	0.000	0.000
Small Landscaped Area 1	0.000	0.000	2.810	0.000	0.000
Small Landscaped Area 2	0.000	0.000	0.000	0.000	0.000
Small Landscaped Area 3	0.000	0.000	0.000	0.000	0.000
Isolated/Water Body Area	0.000	0.000	0.000	0.000	0.000
Other Pervious Area	0.000	0.000	0.000	0.000	0.000
Other Dir Cnctd Imp Area	0.000	0.000	0.000	0.000	0.000
Other Part Cnctd Imp Area	0.000	0.000	0.000	0.000	0.000
Total	0.000	0.000	5.080	0.000	0.000

Freeway Source Area Area (acres)

Pavd Lane & Shldr Area 1	0.000
Pavd Lane & Shldr Area 2	0.000
Pavd Lane & Shldr Area 3	0.000
Pavd Lane & Shldr Area 4	0.000
Pavd Lane & Shldr Area 5	0.000
Large Turf Areas	0.000
Undeveloped Areas	0.000
Other Pervious Areas	0.000
Other Directly Conctd Imp	0.000
Other Partially Conctd Imp	0.000
Total	0.000

Total of All Source Areas 5.080

Total of All Source Areas -----
less All Isolated Areas 5.080

=====

Source Area Control Practice Information

Land Use: Commercial

Roofs 1 Source area number: 61

The roof is pitched

The Source Area is directly connected or draining to a directly connected area

Paved Parking/Storage 1 Source area number: 66

The Source Area is directly connected or draining to a directly connected area

Small Landscaped Area 1 Source area number: 84

The SCS Hydrologic Soil Type is Silty

Drainage System

Outfall

Control Practice 1 : Wet Detention Ponds

1. Area served by detention ponds (acres)= 5.08

2. Particle Size Distribution file name: C:\PROGRAM

FILES\WINSLAMM\NURP.CPZ

3. Initial stage elevation (ft): 5

- 4. Peak to Average Flow Ratio: 3.8
- 5. Maximum flow allowed into pond (cfs): No maximum value entered
- 6. Outlet Characteristics:
 - Outlet number 1
 - Outlet type: Orifice
 - 1. Orifice diameter (ft): 0.83
 - 2. Invert elevation above datum (ft): 5

7. Pond stage and surface area

Outflow	Entry	Stage	Pond Area	Natural Seepage	Other
	Number	(ft)	(acres)	(in/hr)	(cfs)
	0	0.00	0.0000	0.00	0.00
	1	0.01	0.1400	0.00	0.00
	2	1.00	0.1600	0.00	0.00
	3	2.00	0.1800	0.00	0.00
	4	3.00	0.2000	0.00	0.00
	5	4.00	0.2300	0.00	0.00
	6	5.00	0.3200	0.00	0.00
	7	6.00	0.3500	0.00	0.00

Pollutants to be Analyzed and Printed:

Pollutant Name	Pollutant Type
-----	-----
Solids	Particulate

APPENDIX C

Operations and Maintenance Manual

OPERATIONS AND MAINTENANCE MANUAL

JUNGWIRTH COURT ESTATES
DETENTION BASINTable of Contents

	<u>Page</u>
Introduction	1
Wet Detention Basin	1
Sediment Removal	1
Inspection	1
Undesirable Plant Control	1
Outlet Structure Maintenance	2
Erosion Control	2
Checklist	2

OPERATIONS AND MAINTENANCE MANUAL

INTRODUCTION

The wet detention area is located in the northwest corner of the site. Ditches and pavement grades direct the runoff to the detention area.

The soil type is Sommerville loam.

The owner of the site is responsible for inspection and maintenance.

WET DETENTION BASIN

The detention area restricts the developed runoff rates to the existing runoff rates for the 1-year and 2-year storms. The permanent pool removes over 80% of the Total Suspended Solids per the Winslamm model.

SEDIMENT REMOVAL

Sediment at the outlet pipe shall be removed when the sediment impedes flow to the pipe. The pond should be inspected annually to determine if removal is necessary. Sediment disposal shall be conducted in accordance with NR526.

The dredged material can be hauled in watertight trucks or stockpiled and hauled after the water drains out. The work area should be restored after the removal process.

During construction, inspect the basin weekly and remove sediment when necessary.

INSPECTION

Inspect the pond annually for sediment build-up and obstruction of the overflow areas. When necessary, repair the basin and outlet pipe.

After each major storm, debris and litter should be removed from the pond and overflow areas.

UNDESIRABLE PLANT CONTROL

Mowing of the grass should control weeds, trees, and shrubs. If lawn type turf is used then mow the basin area as frequently as the adjacent lawn area. If native vegetation is used then maintain per Village standards.

OUTLET STRUCTURE MAINTENANCE

Remove debris and sediment from the outlet pipe. Repair as needed. Inspect the pipe after each storm and in the spring.

EROSION CONTROL

Vegetation should be established and maintained to prevent erosion by overland flow. If erosion occurs, then re-seed and mulch area. Re-grade areas to disperse concentrated flow. Erosion control mats may be needed to protect bare soil until vegetation is established.

Erosion inspections should be made after major storms and in the spring. General observations should be made during mowing and site visits.

During construction, weekly inspections should be made for erosion. Repair eroded areas immediately.

CHECKLIST

Inspect and

Record for: Erosion/Settling – Repair area immediately and re-vegetate.

Sediment Accumulation at Wet Detention Area – Visual and measure depth of water to determine sediment buildup.

Sediment Accumulation on Surface – Remove sediments when visible.

Clogged Storm Sewer Pipes – Remove and dispose of any debris blocking flow.

Debris/Litter – Remove and dispose of immediately.

Tree Growth – Remove any unwanted tree growth.

Grass Health – If lawn type turf used then mow a minimum of twice a year. Re-seed areas as needed to maintain dense cover.

Stormwater Pond/Wetland Maintenance Inspection Checklist

Facility ID: _____
 Location: _____
 GPS Coordinates: _____
 Inspector(s): _____
 Date: _____
 Time: _____

Stormwater Pond/Wetland Maintenance Inspection Checklist

Party Responsible for Maintenance:

Contact:

Phone Number:

E-mail:

Mailing Address:

Key Questions		Item	X	Comments
1.	Type of stormwater pond or wetland (check all that apply)			
	a. Permanent pool		<input type="checkbox"/>	
	OR			
	Shallow wetland		<input type="checkbox"/>	
	OR			
	Micropond		<input type="checkbox"/>	
	b. Extended detention		<input type="checkbox"/>	
	c. Ties into groundwater		<input type="checkbox"/>	
	d. Pond with some wetland plantings		<input type="checkbox"/>	
	e. Multiple pond system		<input type="checkbox"/>	
2.	Type of wetland			
	a. Emergent		<input type="checkbox"/>	
	b. Forested		<input type="checkbox"/>	
3.	Type of pretreatment facility			
	a. Sediment forebay		<input type="checkbox"/>	
	b. Grass filter strip		<input type="checkbox"/>	
	c. Other		<input type="checkbox"/>	
				Type of pretreatment facility:

A. Contributing Drainage Area						
0 = Good condition. Well maintained, no action required.						
1 = Moderate condition. Adequately maintained, routine maintenance needed.						
2 = Degraded condition. Poorly maintained, routine maintenance and repair needed.						
3 = Serious condition. Immediate need for repair or replacement.						
<input type="checkbox"/>	Inspected					
<input type="checkbox"/>	Not Inspected					
Item	0	1	2	3	N/A	Comments
1. Excessive trash/debris						
2. Bare/exposed soil						

Stormwater Pond/Wetland Maintenance Inspection Checklist

3. Evidence of erosion	0	1	2	3	N/A
4. Excessive landscape waste/yard clippings	0	1	2	3	N/A

B. Pretreatment
 0 = Good condition. Well maintained, no action required.
 1 = Moderate condition. Adequately maintained, routine maintenance needed.
 2 = Degraded condition. Poorly maintained, routine maintenance and repair needed.
 3 = Serious condition. Immediate need for repair or replacement.

<input type="checkbox"/>	Inspected
<input type="checkbox"/>	Not Inspected
Item	Comments
1. Maintenance access to pretreatment facility	0 1 2 3 N/A
2. Excessive trash/debris accumulation	0 1 2 3 N/A
3. Excessive sediment accumulation	0 1 2 3 N/A Sediment marker reading:
4. Evidence of clogging	0 1 2 3 N/A
5. Dead vegetation/exposed soil	0 1 2 3 N/A
6. Evidence of erosion	0 1 2 3 N/A

C. Inlets
 0 = Good condition. Well maintained, no action required.
 1 = Moderate condition. Adequately maintained, routine maintenance needed.
 2 = Degraded condition. Poorly maintained, routine maintenance and repair needed.
 3 = Serious condition. Immediate need for repair or replacement.

<input type="checkbox"/>	Inspected
<input type="checkbox"/>	Not Inspected
Item	Comments
1. Inlets provide stable conveyance into facility	0 1 2 3 N/A
2. Excessive trash/debris/sediment accumulation at inlet	0 1 2 3 N/A
3. Evidence of erosion at/around inlet	0 1 2 3 N/A

D. Facility
 0 = Good condition. Well maintained, no action required.
 1 = Moderate condition. Adequately maintained, routine maintenance needed.
 2 = Degraded condition. Poorly maintained, routine maintenance and repair needed.
 3 = Serious condition. Immediate need for repair or replacement.

<input type="checkbox"/>	Inspected
<input type="checkbox"/>	Not Inspected
Item	Comments
1. Maintenance access to facility	0 1 2 3 N/A
2. Sediment accumulation	0 1 2 3 N/A
a. Bathymetric study recommended	<input type="checkbox"/>
3. Abnormally high or low water levels	0 1 2 3 N/A Cause:
4. Evidence of pollution/hotspot runoff	0 1 2 3 N/A Cause:

Stormwater Pond/Wetland Maintenance Inspection Checklist

5. Berm(s)/embankment(s)	0	1	2	3	N/A
a. Cracking, bulging or sloughing	0	1	2	3	N/A
b. Soft spots or sinkholes	0	1	2	3	N/A
c. Evidence of erosion	0	1	2	3	N/A
d. Evidence of animal burrows	0	1	2	3	N/A
e. Presence of woody vegetation	0	1	2	3	N/A
6. Riser/outlet	0	1	2	3	N/A Type of riser:
a. Maintenance access to riser	0	1	2	3	N/A
b. Structural condition of riser	0	1	2	3	N/A
c. Condition of joints	0	1	2	3	N/A
d. Trash/debris accumulation	0	1	2	3	N/A
7. Low flow orifice	0	1	2	3	N/A
a. Trash/debris accumulation	0	1	2	3	N/A
b. Adjustable control valve accessible and operational	0	1	2	3	N/A
8. Pond drain (underdrain) system	0	1	2	3	N/A
a. Broken	<input type="checkbox"/>				
b. Clogged	<input type="checkbox"/>				
c. Adjustable control valve accessible and operational	0	1	2	3	N/A
9. Vegetation	0	1	2	3	N/A
a. Plant composition consistent with approved plans	0	1	2	3	N/A
b. Presence of invasive species/weeds	0	1	2	3	N/A
c. Dead vegetation/exposed soil	0	1	2	3	N/A
d. Reinforcement planting recommended	<input type="checkbox"/>				

E. Outlets						
0 = Good condition. Well maintained, no action required.						
1 = Moderate condition. Adequately maintained, routine maintenance needed.						
2 = Degraded condition. Poorly maintained, routine maintenance and repair needed.						
3 = Serious condition. Immediate need for repair or replacement.						
<input type="checkbox"/>	Inspected					
<input type="checkbox"/>	Not Inspected					
	Item				Comments	
1.	Outlets provide stable conveyance out of facility	0	1	2	3	N/A
2.	Excessive trash/debris/sediment accumulation at outlet	0	1	2	3	N/A
3.	Evidence of erosion at/around outlet	0	1	2	3	N/A





ARBOR VALLEY
 LUXURY APARTMENT HOMES
 DISTINCTIVE RENTAL LIVING

- Luxury 1 & 2 BR Apartment Homes
- Private Garage w/Opener
- Private Entrances
- Cathedral Ceilings
- Heat Included
- Professional On-Site Management
- Stainless Appliances
- Granite Kitchen Counters
- In-Unit Washer/Dryer
- Beautiful Landscaping

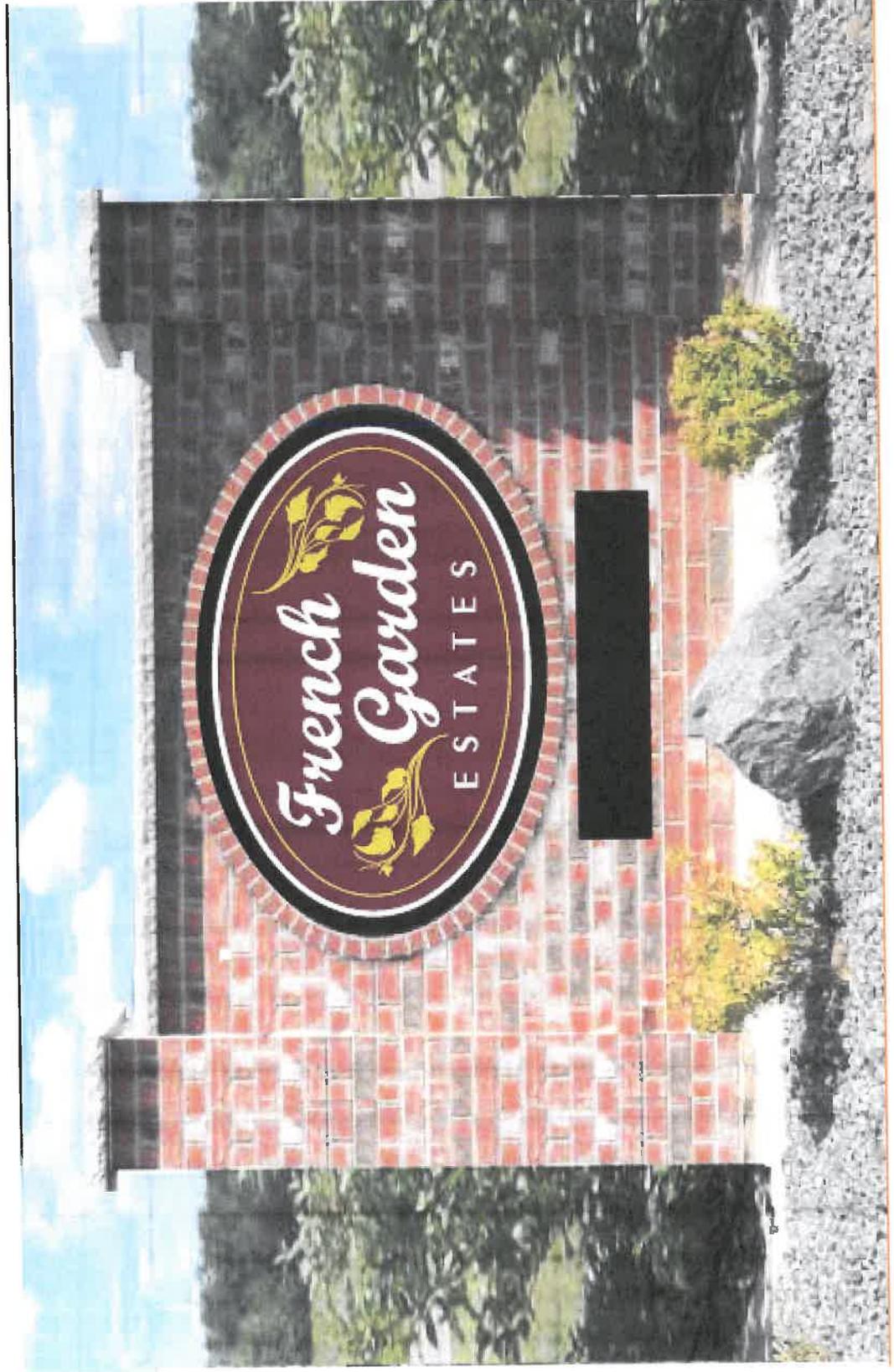
CALL: 1-262-367-1037
 FOR RENTAL INFORMATION

Professionally Managed By
PREMIER REAL ESTATE MANAGEMENT, LLC
 19155 W. Capitol Dr., Brookfield, WI

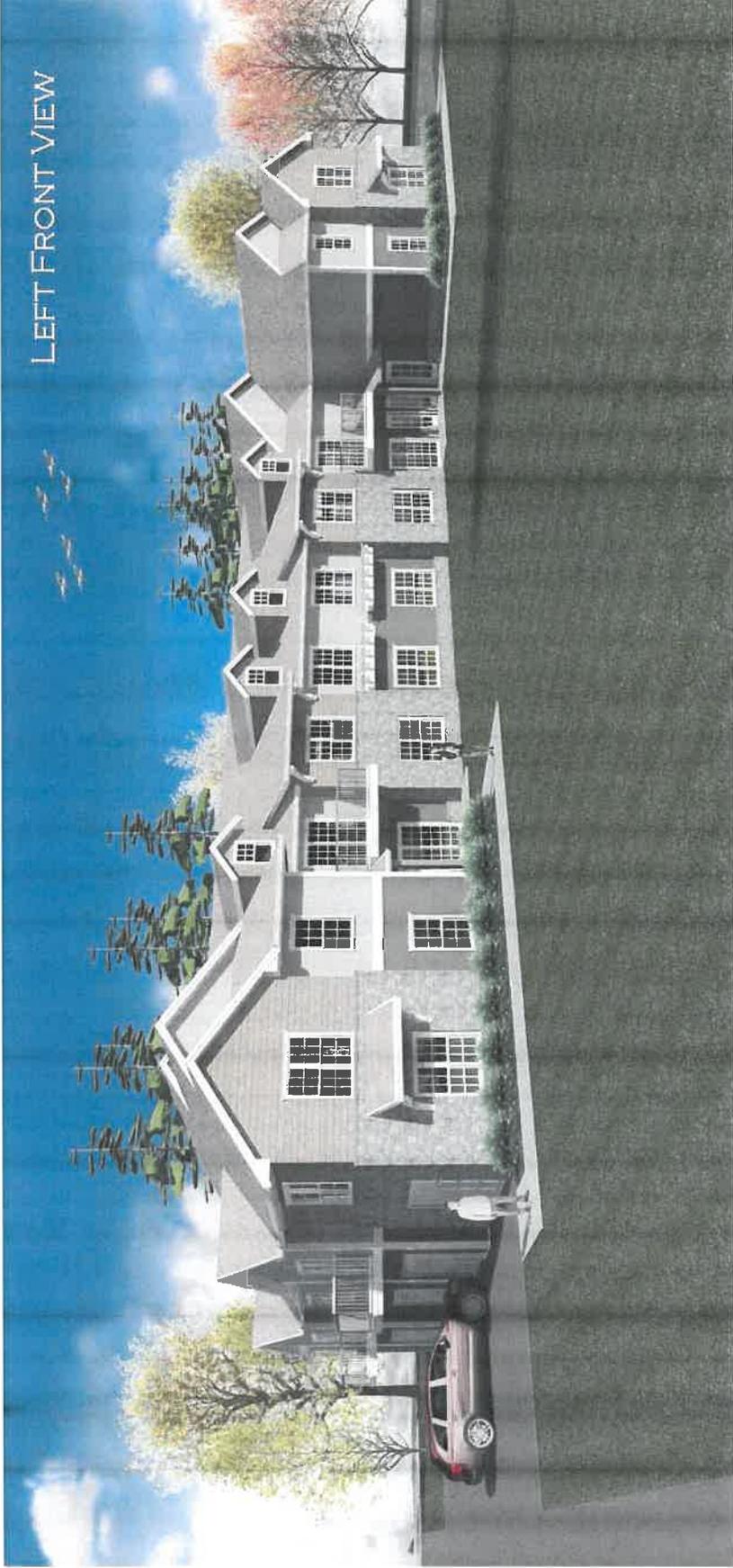


48" X 72" OVAL SIGN
10" X 48" INFO PANEL
18.25" WIDE PILLARS APPROX. X 87.5" HIGH PLUS LIMESTONE CAPS
78.75" TALL APPROX. CENTER PANEL X 98" WIDE PLUS LIMESTONE CAP
BOTTOM OF OVAL SIGN PANEL UP 25.5" APPROX. FROM BASE
INFO PANEL UP 11.5" APPROX. FROM BASE

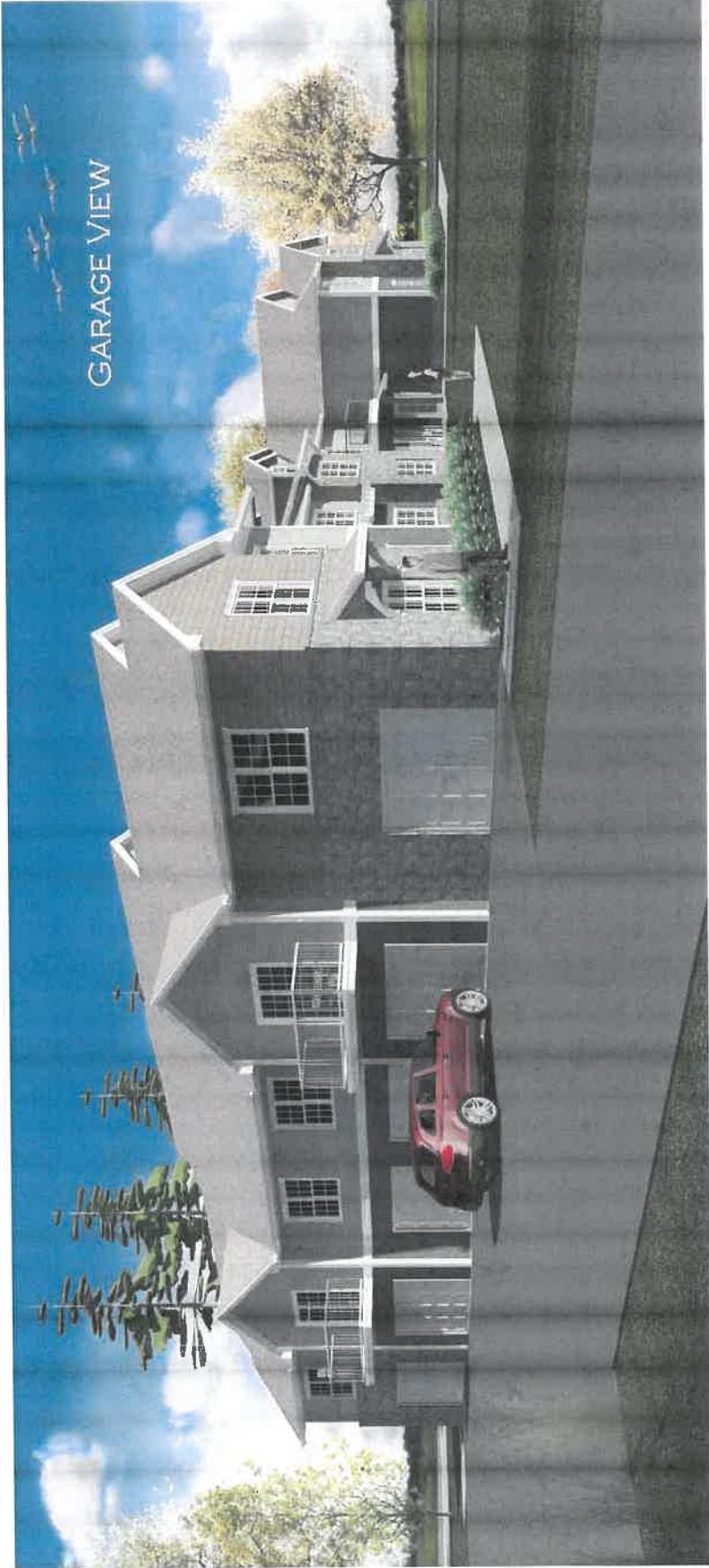
BRICK SAMPLE FROM HOCKERS: 2.5" X 9.5" BRICKS
8.75" X 14" (3 BRICKS HIGH X 1.5 WIDE)



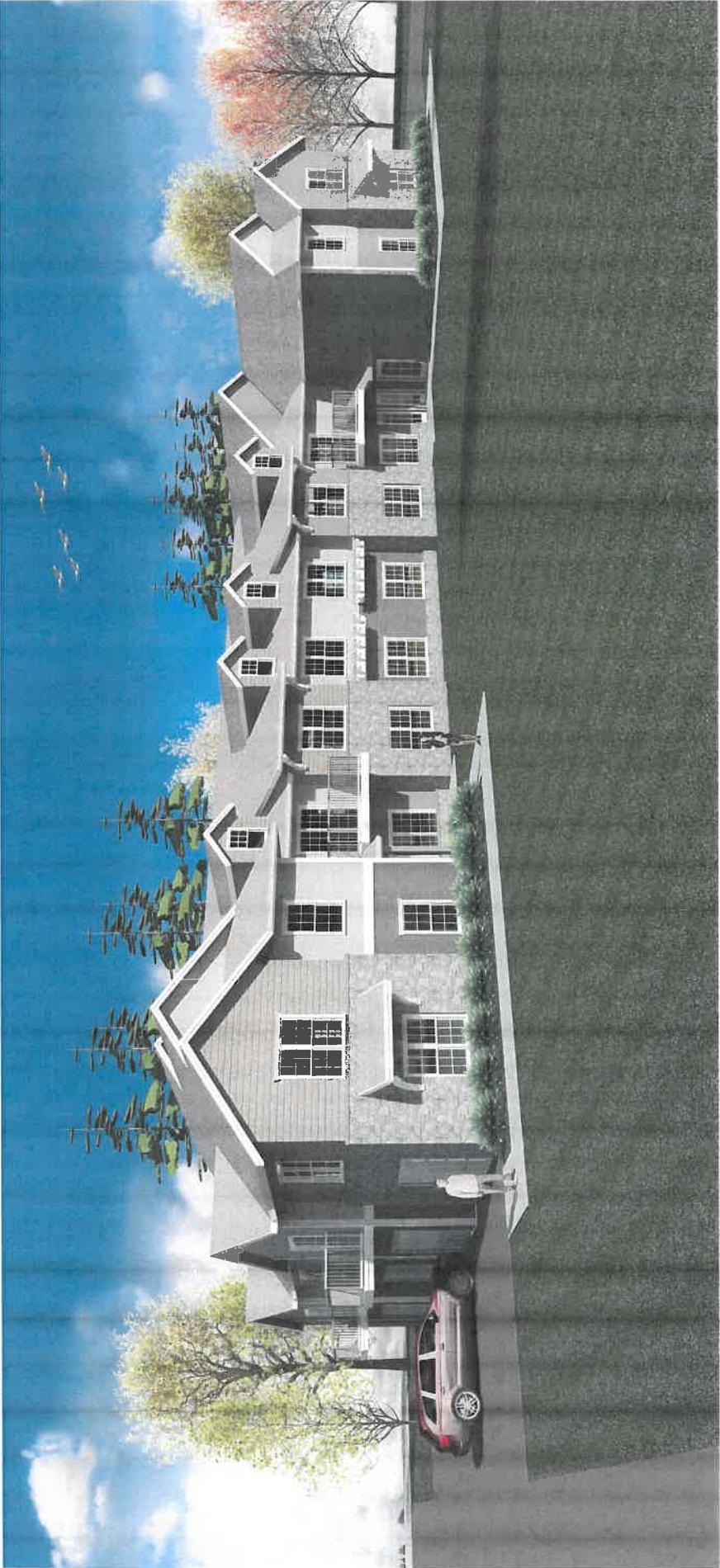
LEFT FRONT VIEW

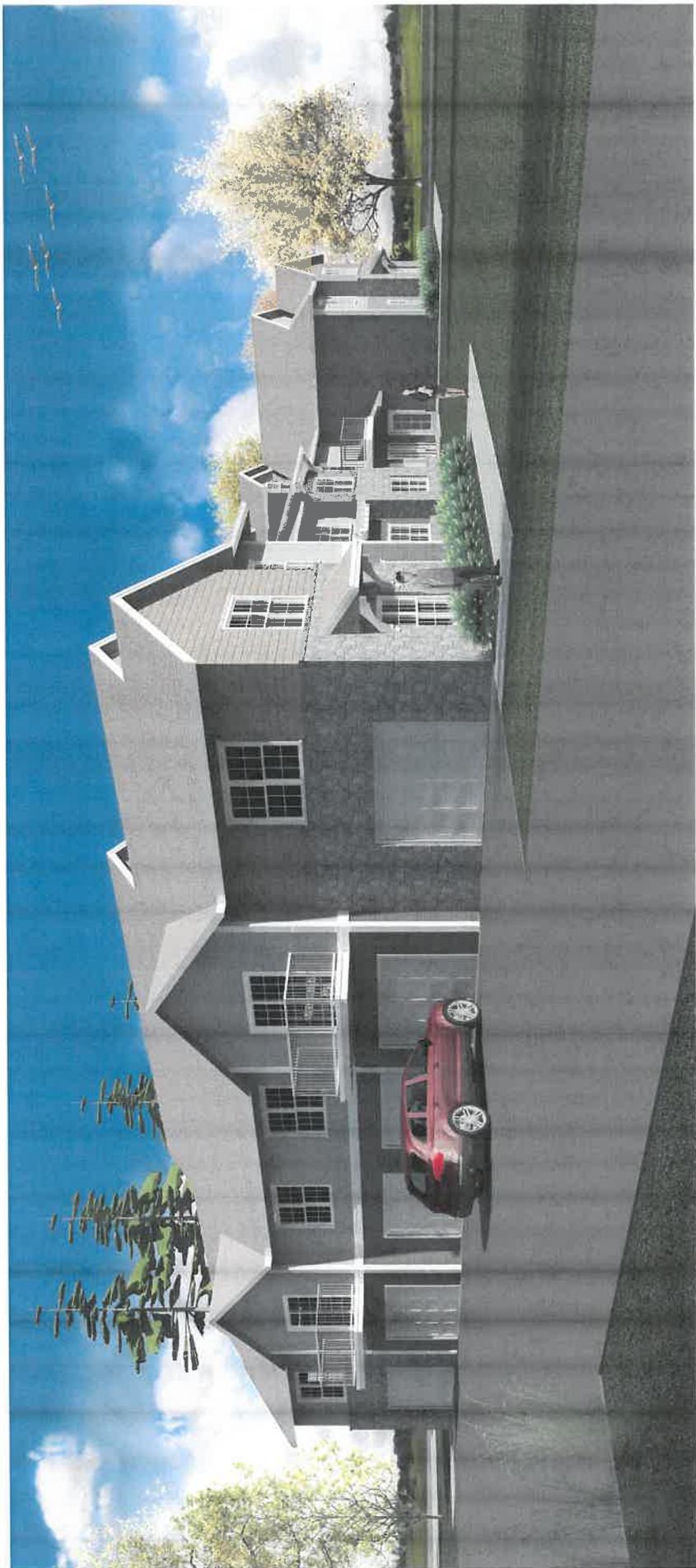


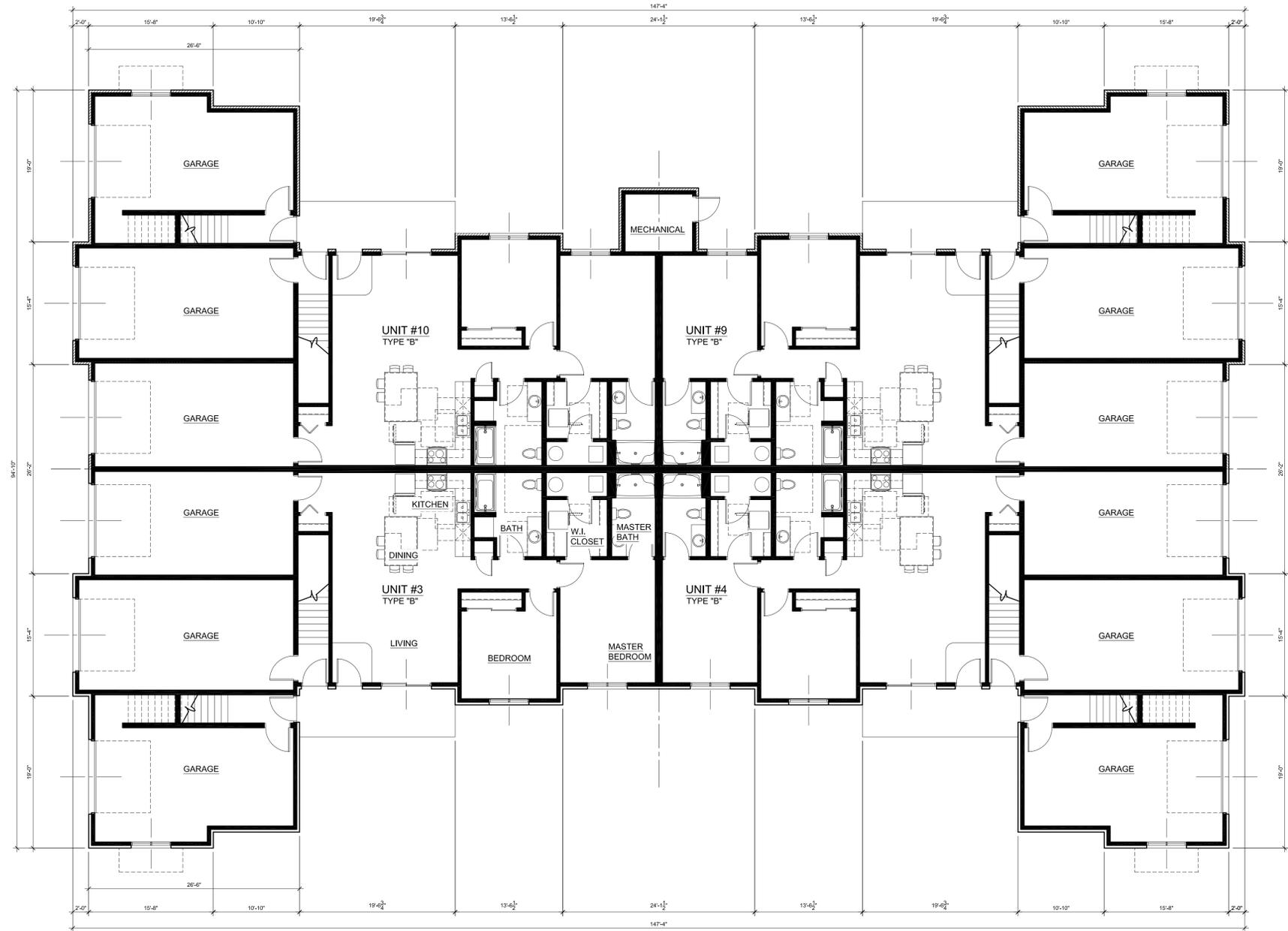
**JUNGWIRTH COURT
SISTER BAY, WISCONSIN
PREMIER REAL ESTATE MANAGEMENT LLC**



**JUNGWIRTH COURT
SISTER BAY, WISCONSIN
PREMIER REAL ESTATE MANAGEMENT LLC**







FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

FLOOR PLAN NOTES:

1. UNLESS OTHERWISE NOTED ON PLANS, ALL INTERIOR WALLS SHALL BE WALL TYPE 3. VERIFY DIMENSION ON PLANS FOR 2 X 4 AND 2 X 6 LOCATIONS.
2. SEE A110 FOR WALL TYPES.
3. SEE A110 FOR BATH TUB AT UNIT WALL DETAIL.

Timothy E. Seidel
 Architect
 500 Clyburn Court
 Waukesha, WI 53183-9423
 (262) 968-5580
 (262) 968-5581 Fax
 tseidel@tseidel.com

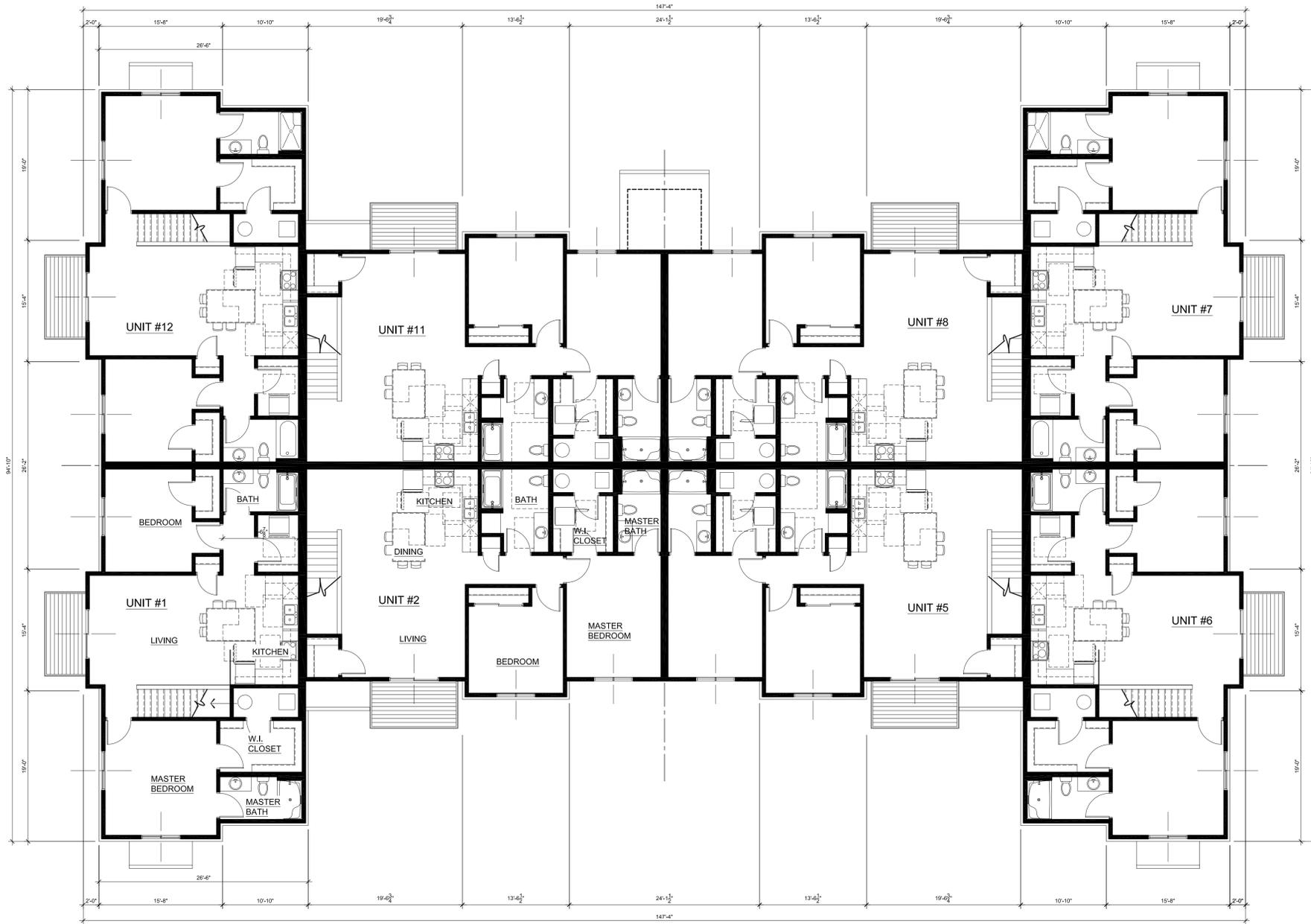
PREMIER
 REAL ESTATE MANAGEMENT, LLC
These Plans are the property of Premier Real Estate Management, LLC. Any reproduction or interpretation in violation of any copyright law is prohibited.

PREMIER WOODS
 PREMIER REAL ESTATE DEVELOPMENT
 JUNGWIRTH COURT
 SISTER BAY, WISCONSIN

REVISIONS :	No.	Description	Date

Date :	
Scale :	As Noted
File Number :	A110.dwg
Drawn :	TES
Project :	201437
Sheet Number :	

A100



SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

FLOOR PLAN NOTES:

1. UNLESS OTHERWISE NOTED ON PLANS, ALL INTERIOR WALLS SHALL BE WALL TYPE 3. (VERIFY DIMENSION ON PLANS FOR 2 X 4 AND 2 X 6 LOCATIONS.)
2. SEE A110 FOR WALL TYPES.
3. SEE A110 FOR BATH TUB AT UNIT WALL DETAIL.

Timothy E. Seidel
 Architect
 500 Clyburn Court
 Waukesha, WI 53183-9423
 (262) 966-5580
 (262) 966-5581 Fax
 tseidel@tseidel.com

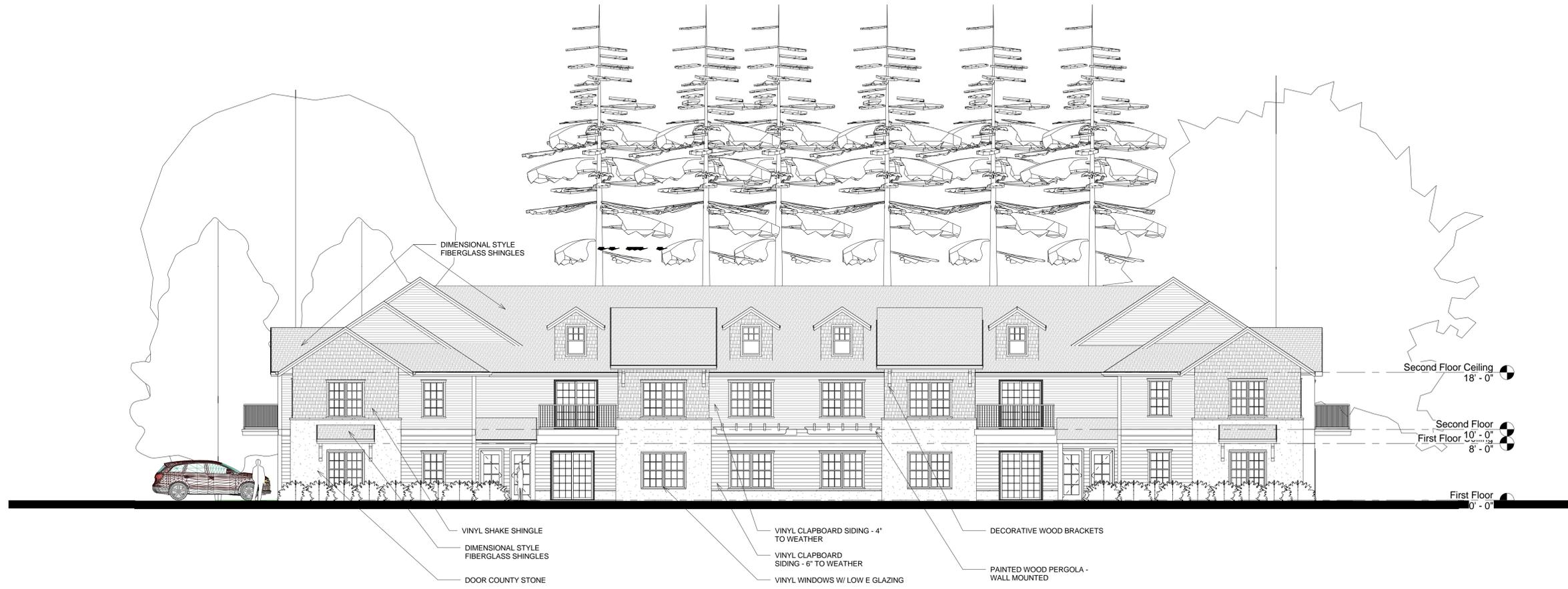


PREMIER WOODS
 PREMIER REAL ESTATE DEVELOPMENT
 JUNGWIRTH COURT
 SISTER BAY, WISCONSIN

REVISIONS :	No.	Description	Date

Date :
 Scale :
 As Noted
 File Number :
 A110.dwg
 Drawn :
 TES
 Project :
 201321
 Sheet Number :

A110



1 STREET VIEW - REAR SIMILAR
1/8" = 1'-0"



2 SIDE VIEW - OPPOSITE SIMILAR
1/8" = 1'-0"

Timothy E. Seidel
Architect
530 Cymric Court
Wales, WI 53183-9423
(262) 968-5580
(262) 968-5581 fax
tseidelarchitect@wi.rr.com



SISTER BAY 12 UNITS
PREMIER REAL ESTATE MANAGEMENT, LLC.
JUNGWIRTH COURT
SISTER BAY, WISCONSIN

REVISIONS :

No.	Description	Date

Date : 2.1.2015
Scale : As Noted
File Number : A300.dwg
Drawn : TES
Project : 201437
Sheet Number :

A300

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT is entered into as of this 24th day of February, 2015 between the Village of Sister Bay, Wisconsin (the "Village") and Premier Niagara Ridge, LLC, a Wisconsin limited liability company (the "Developer").

WHEREAS, the Developer is to acquire certain real estate from the Village as described in Exhibit A hereto (the "Property"); and

WHEREAS, the Developer plans to construct improvements Niagara Ridge (the "Development") on the Property, consisting of improvement of the Property for residential uses by construction of a multi-family residential development as depicted on Exhibit B hereto (the "Developer's Improvements");

NOW, THEREFORE, the Village and the Developer, in consideration of the terms and conditions contained in this Agreement and for other good and valuable consideration, receipt of which is hereby acknowledged, agree as follows:

1. DEVELOPER OBLIGATIONS.

(a) Acquisition of Property. Developer shall acquire the Property no later than _____, 2015.

(b) Limitation on Use of Premises. The sale of the Property is premised upon Developer's intent to construct multi-unit residential dwellings upon the Property. The primary use of the Property shall not be changed to any other use without the express written agreement of the Village.

(c) Construction of Developer's Improvements. The Developer shall, subject to receipt of all necessary governmental approvals, construct and pay all costs of the Developer's Improvements on the Property. The Developer's Improvements to be constructed upon the Property and their uses shall be in compliance with all applicable municipal ordinances of the Village. Construction of the Developer's Improvements shall be complete by no later than _____, 20___. Nothing contained in this Development Agreement shall obligate the Village to grant variances, exceptions, or conditional use permits. Developer agrees to engage fully-qualified and experienced contractors for all construction included in this Agreement. The contractors shall perform their work to the standards of the Village and shall comply with the requirements of the Village's ordinances and standards in performing their work.

(d) Dedication of Property Utilities. All property necessary for sewer and water as depicted on Exhibit B shall be dedicated to the Village or to the appropriate utility at no cost to the Village or the utility.

(e) Payment of Fees. The Developer shall pay to the Village all Impact Fees and other fees pursuant to applicable Village ordinance (collectively the "Fees"). A schedule of the Fees is attached hereto as Exhibit "C" and incorporated herein by reference.

(f) Village Approval. No land disturbance or work may begin without the Village's approval. Approval will not be granted until final plans and specifications for the land disturbance and work have been approved by the Village.

(g) Responsibility for Costs. Developer agrees that the Village shall not be responsible for any costs or charges related to the Development except any specifically enumerated and agreed to in writing by the Village and the Developer.

(h) Maintenance of Improvements. Developer shall provide for the maintenance and repair of the Developer's Improvements.

(i) Indemnification. Developer will indemnify, defend, and hold the Village harmless from and against all claims, costs, and liabilities of every kind and nature, for injury or damage received or sustained by any person or entity in connection with, or on account of, the performance of work described in this Agreement except to the extent caused by the willful or negligent acts or omissions of the Village or its officers, employees, agents, or contractors.

(j) Specifications for Improvements. Developer shall abide by all appropriate Village ordinances and conditions in effect at the time of approval and in place for the Development by the Village Board, Plan Commission, or the Village's designated engineers when fulfilling its obligations under this Agreement. Developer shall also fully comply in a timely fashion with all Village ordinances, including zoning, subdivision, and utility-related ordinances.

(k) Inspections. The Village may inspect sewer and water utilities installed pursuant to this Agreement at intermittent times as they are constructed and completed and, if acceptable to the Village, certify such as being in compliance with the standards and specifications of the Village. If inspection reveals that sewer or water utilities do not conform to Village standards or are otherwise defective, the Village will provide timely notice to Developer. Developer shall have 30 days from issuance of such notice to correct or substantially correct the defect. The Village shall not declare a default under this Agreement during the thirty (30) day correction period on account of any such defect unless it is clear that Developer does not intend to correct the defect or unless the Village reasonably and objectively determines that immediate action is required in order to remedy a situation that poses an immediate health or safety threat.

(l) Improvements are Private. All improvements constructed by Developer, except the Public Utilities as hereinafter defined, including, but not limited to, (1) all driveways within the Development, and (2) all storm water management improvements, shall remain private at all times. All improvements constructed by the Developer, except the Public Utilities as hereinafter defined, shall be referred to as the "Private Improvements". The Private Improvements shall be constructed and maintained at the expense of Developer. They will not be owned, maintained,

replaced, or repaired in any way by the Village. The sewer and water utilities within the 30' easement (as provided in the CSM of the Property), as well as the hydrant and manhole to be installed by the Developer in conjunction with the Development (collectively the "Public Utilities") shall be inspected and approved by the Village engineer. Upon the approval of the Public Utilities by the Village engineer, the Public Utilities shall be dedicated by the Developer to the Village and, after acceptance of the dedication of the Public Utilities by the Village, the Public Utilities will be maintained by the Village.

(m) Reimbursement of Village Costs. The Developer shall reimburse the Village for all costs incurred by the Village for engineering, inspection, planning, legal and administrative expenses in:

- (i) Processing, reviewing, revising and approving conceptual, preliminary or final development plans, including meeting time, regardless of whether the Developer attended or participated in the meeting;
- (ii) Processing reviewing, revising, drafting and approving any agreements, easements, deed restrictions, and other documents associated with the proposed use; and,
- (iii) Inspection and approval of construction and installation of all improvements provided for in the Development, including but not limited to consultation reasonably required to address issues and problems encountered during the course of design and construction of the Development. Such costs shall include the costs of Village consultants, including engineers, attorneys, inspectors, planners, ecologists, agents, sub-contractors and the Village's own employees. Such costs shall also include those for attendance at meetings. The costs for outside services shall be the direct costs incurred by the Village. The costs for Village employees' time shall be based on the classification of the employee and the rates established by the Village Board, from time to time, for each such classification.

2. VILLAGE OBLIGATIONS.

(a) Approvals. The Village shall work in cooperation with the Developer to secure and to grant the following approvals:

- (i) Zoning of the Project Site to accommodate development of the Project.
- (ii) Approval, if necessary, for the expansion and/or extension of the storm sewer, sanitary sewer, water, and electric facilities to serve the Developer's Improvements.

(b) Conveyance of Village Property. The Village shall convey the Property to the Developer pursuant to the terms of those certain Vacant Land Offers to Purchase dated effective November 20, 2014 and January 29, 2015, no later than _____, 2015.

3. SUPPLEMENTAL GENERAL CONDITIONS.

(a) No Vested Rights Granted. Except as provided by law, or as expressly provided by this Agreement, no other vested rights in connection with the Development shall inure to the Developer. In addition, the Village does not warrant by this Agreement that the Developer is entitled to approvals of any other nature other than as specified in this Agreement.

(b) No Waiver. No waiver of any provision of this Agreement shall be deemed or constitute a waiver of any other provision, nor shall it be deemed or constitute a continuing waiver unless expressly provided for by a written amendment to this Agreement signed by both the Village and the Developer, nor shall the waiver of any default under this Agreement be deemed a waiver of any subsequent default or defaults of the same type. No Village approval pursuant to this Agreement eliminates the need for other local, state or federal authorizations relevant to the Development.

(c) Amendment. This Agreement may be amended or modified only by a written amendment approved and executed by the Village and the Developer.

(d) Default. In the event that either the Village or the Developer defaults under any material terms or conditions of this Agreement, the defaulting party shall be responsible for all costs and expenses incurred by reason of such default including, but not limited to, any legal expenses incurred by the non-defaulting party. The rights and remedies of the non-defaulting party shall not be limited to those, if any, specified in this Agreement, but the non-defaulting party shall have all rights and remedies to which it may be entitled, either at law or in equity.

(e) Entire Agreement. This Agreement, and any written amendments and referenced attachments, hereto, shall constitute the entire agreement between the Village and the Developer.

(f) Force Majeure. For the purpose of computing the commencement and completion periods, and time periods for either party to act, such times in which war, civil disaster, act of God, or extreme weather conditions occur or exist shall not be included if such time prevents the Developer or the Village from performing its obligations under the Agreement.

(g) Notice. Any notice required or permitted by this Agreement shall be deemed effective when personally delivered a notice or three (3) days after notice is deposited with the U.S. Postal Service, postage prepaid, certified mail and return receipt requested, addressed as follows:

If to Developer:

Calvin M. Akin

If to Village:

Village of Sister Bay

Premier Niagara Ridge, LLC
 19105 W. Capitol Drive
 Brookfield, WI 53045

c/o Village Clerk
 2383 Maple Drive
 P.O. Box 769
 Sister Bay, WI 54234

(h) Binding Effect. This Agreement is binding upon the parties hereto, as well as their respective heirs, successors and assigns.

(i) Effective Date. This Agreement shall be effective as of the date and year first above written.

(j) No Assignment. The benefits of this Agreement to the Developer are personal and shall not be assigned without the express, prior written approval of the Village Board. Such approval may not be unreasonably withheld, but any unapproved assignment is void. Notwithstanding the above, the burdens of this Agreement are personal obligations of the Developer and shall also be binding on the heirs, successors and assigns of the Developer.

(k) Occupancy Permit. The Developer and the Village agree that the Village will issue occupancy permits for dwelling units within the Development upon satisfaction of local and state building code requirements and completion of each building within the Development.

(l) Signage. Developer agrees that any signage for the Development shall be restricted to onsite signs with the location, size and style of sign to comply with Village of Sister Bay sign code requirements.

(m) Developer Representations and Warranties. Developer represents and warrants to the Village (i) that it is a limited liability company duly organized and existing under the laws of the State of Wisconsin and that all proceedings of the Developer necessary to authorize the negotiation and execution of this Agreement, and the consummation of the transaction contemplated by this Agreement, have been taken in accordance with applicable law, and (ii) that all documents required to be executed and delivered by the Developer have been duly and validly authorized, executed and delivered and will be enforceable against the Developer in accordance with their terms, except as limited by bankruptcy, insolvency or other similar laws of general application affecting the enforcement of creditors' rights.

(n) Nondiscrimination. The Developer agrees not to discriminate on the basis of race, color, religion, sex, ancestry, age, handicap, marital status or national origin in the construction, use or operation of the Development and that the continued use and operation of the Development shall be in compliance with all effective laws, ordinances and regulations relating to discrimination or any of the foregoing grounds.

(o) Severability. If any part, term or provision of this Agreement is held by a court of competent jurisdiction to be illegal or otherwise unenforceable, such illegal or unenforceable part, term or provision shall not affect the validity of any other part, term or provision and the rights of the parties will be construed as if the part, term or provision was never included in this Agreement.

(p) Recording. The parties agree that this Agreement shall be recorded with the Door County Register of Deeds. The Developer shall reimburse the Village for the cost of recording this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date first above written.

ATTEST:

VILLAGE OF SISTER BAY

Christy Sully, Village Clerk

By:_____
David W. Lienau, Village President

PREMIER NIAGARA RIDGE, LLC

By:_____
Calvin M. Akin, Sole Member

STATE OF WISCONSIN)
)ss
DOOR COUNTY)

Personally came before me this ____ day of _____, 2015 the above named David W. Lienau, Village President, and Christy Sully, Village Clerk to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin

My Commission: _____

STATE OF WISCONSIN)
)ss
WAUKESHA COUNTY)

Personally came before me this ____ day of _____, 2015, the above named Calvin M. Akin, Sole Member of Premier Sister Bay, LLC , to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Wisconsin

My Commission expires_____

EXHIBIT A
TO
DEVELOPMENT AGREEMENT

Description of Property

(See attached)

EXHIBIT B
DEVELOPER'S IMPROVEMENTS

(See attached)

EXHIBIT C
ESTIMATED FEES

1.	Application Fee	\$ 150.00
2.	Driveway Permit	\$ 50.00
3.	Development Agreement Deposit	\$2,000.00
4.	Engineering Deposit	\$2,000.00
5.	Impact Fees for Sanitary and Water	\$82,293.48
6.	Building Permit Fees (Village)	\$9,395.94