

Village of Sister Bay Zoning Code

APPENDIX OF ZONING ILLUSTRATIONS

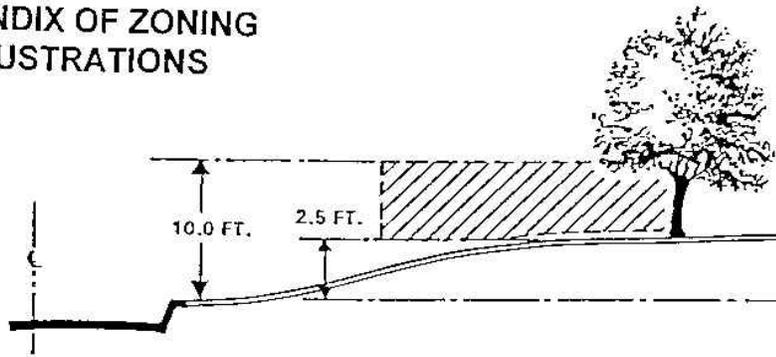
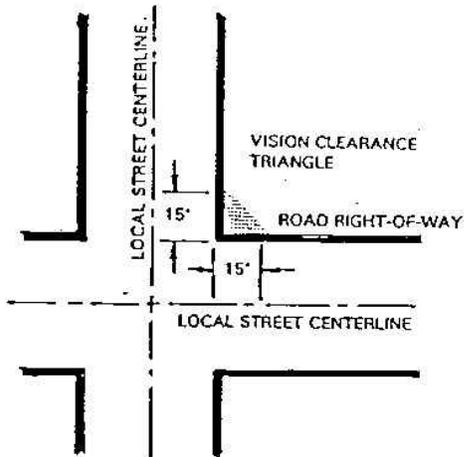


ILLUSTRATION NO. 1 VISION CLEARANCE

VISION CLEARANCE TRIANGLE (PLAN VIEW)

TWO LOCAL STREETS INTERSECTING



TWO ARTERIAL STREETS INTERSECTING
OR A LOCAL STREET AND AN ARTERIAL STREET

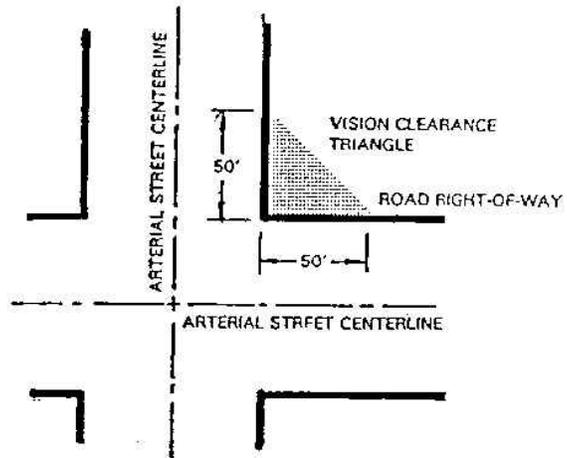
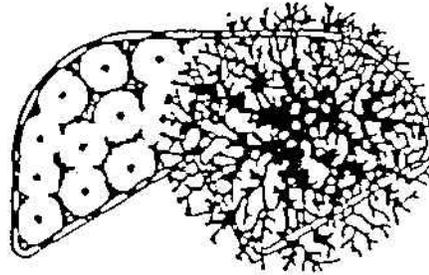
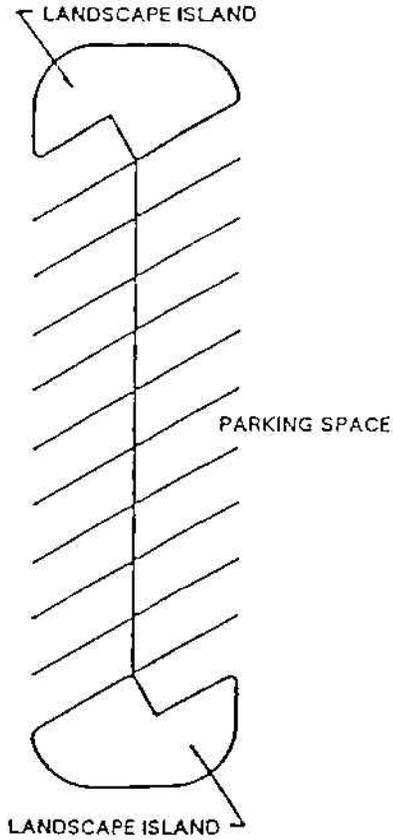


ILLUSTRATION NO. 2 VISION CLEARANCE (PLAN VIEW)

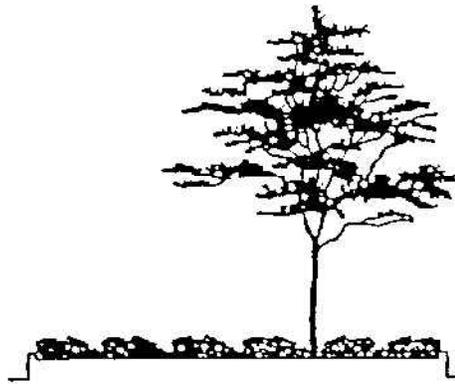
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ILLUSTRATION OF A TYPICAL PARKING LOT LANDSCAPE ISLAND

TYPICAL PARKING LOT



LANDSCAPE ISLAND
(PLAN VIEW)



LANDSCAPE ISLAND
(CROSS-SECTION)

ILLUSTRATION NO. 3 A TYPICAL PARK LANDSCAPE ISLAND

Village of Sister Bay Zoning Code

ILLUSTRATION OF TYPICAL
LANDSCAPING FOR
PARKING ADJACENT TO A BUILDING

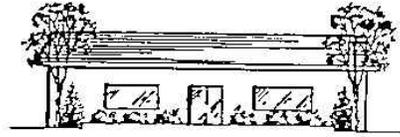
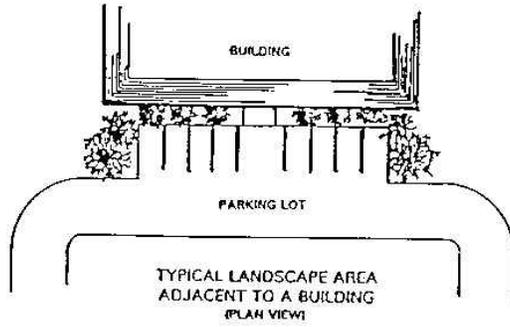


ILLUSTRATION NO. 4 LANDSCAPING FOR PARKING ADJACENT TO A BUILDING

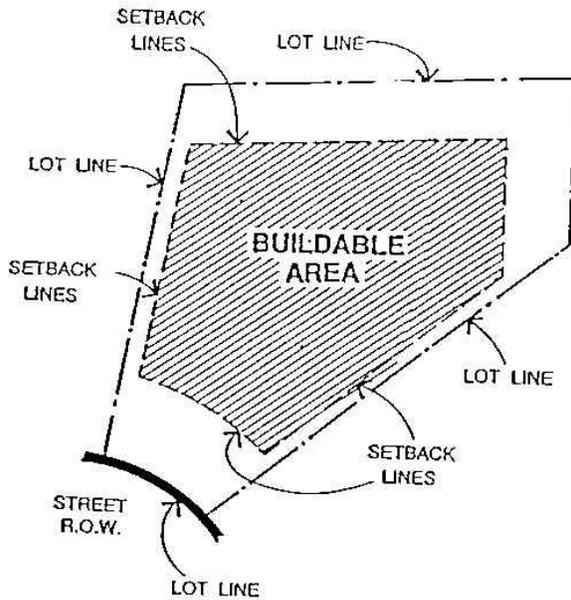


ILLUSTRATION NO. 5 BUILDABLE AREA

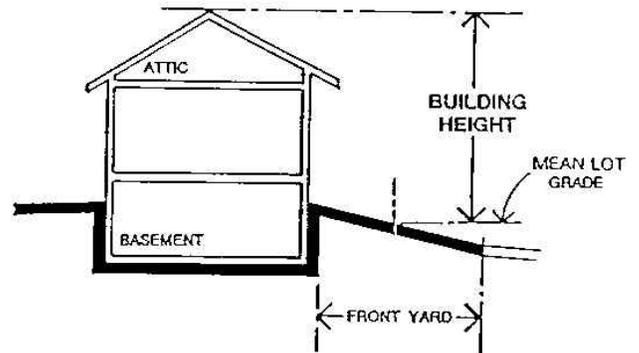


ILLUSTRATION NO. 6 BUILDING HEIGHT

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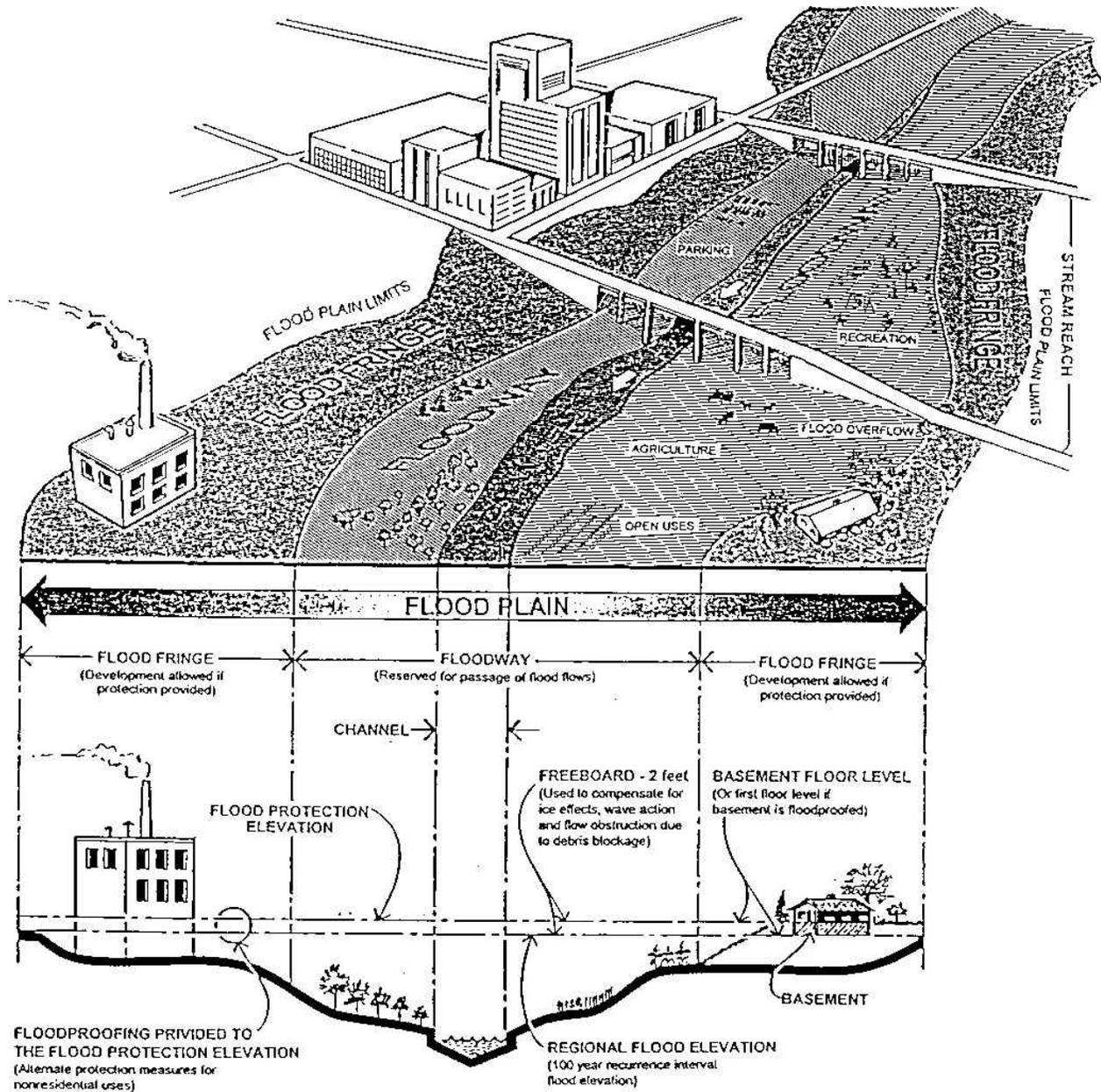


ILLUSTRATION NO. 7 FLOOD PLAIN

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ILLUSTRATION NO. 8 RESERVED

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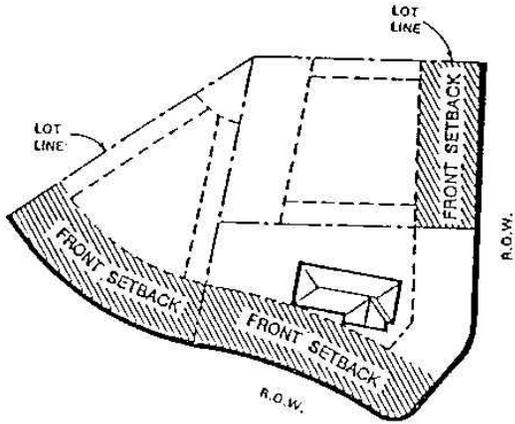


ILLUSTRATION NO. 9 FRONT SETBACK

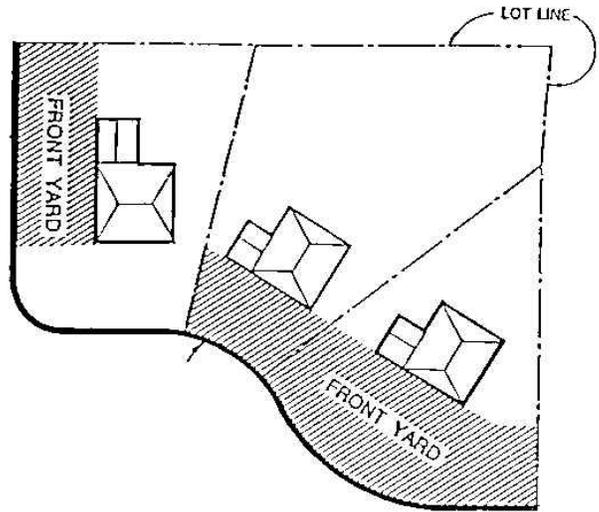


ILLUSTRATION NO. 10 FRONT YARD

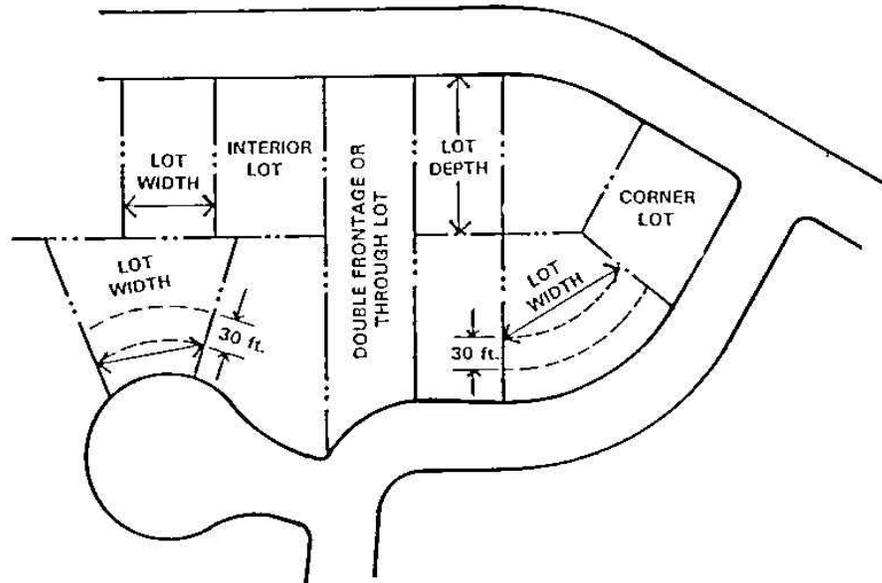


ILLUSTRATION NO. 11 DOUBLE FRONTAGE OR THROUGH LOT

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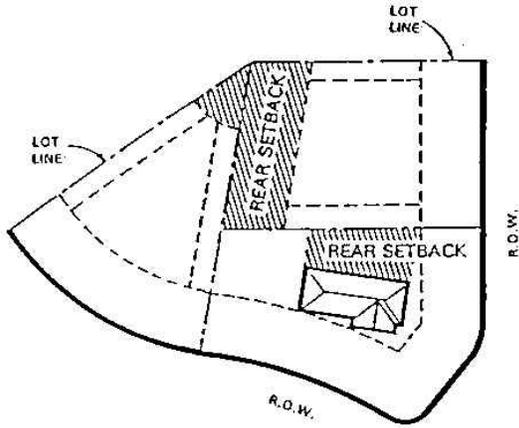


ILLUSTRATION NO. 12 REAR SETBACK

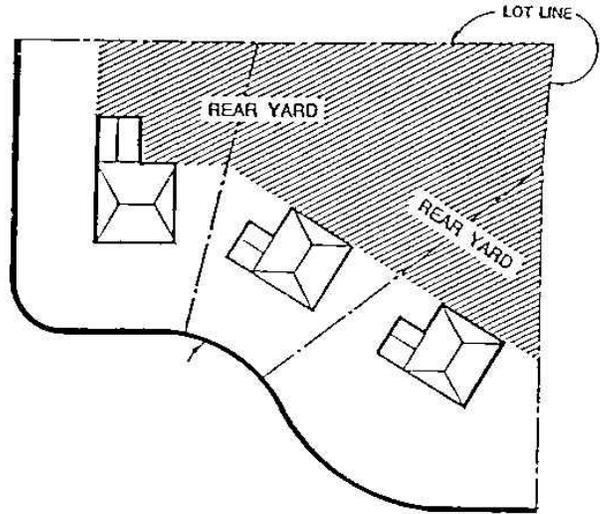


ILLUSTRATION NO. 13 REAR YARD

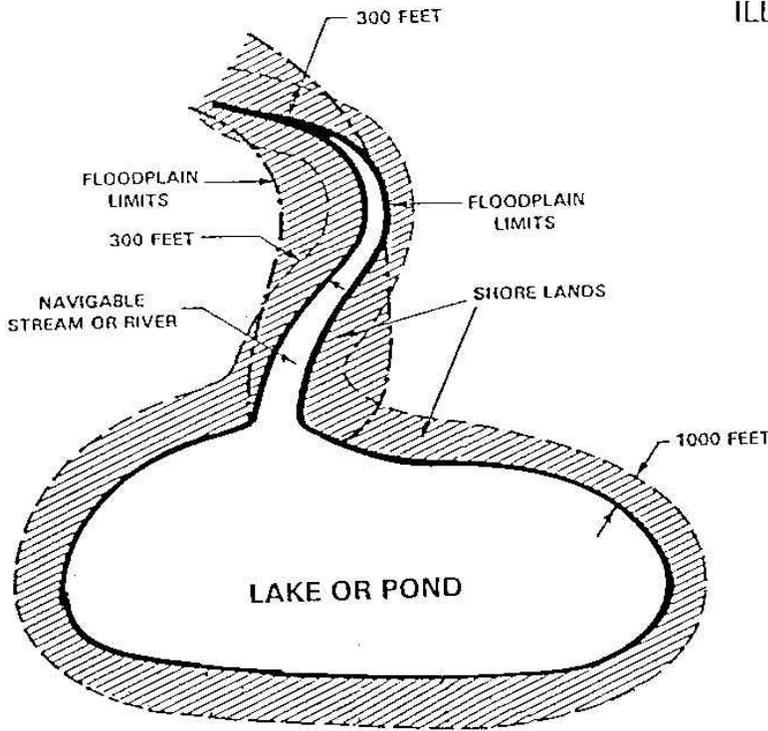


ILLUSTRATION NO. 14 SHORELAND AREAS

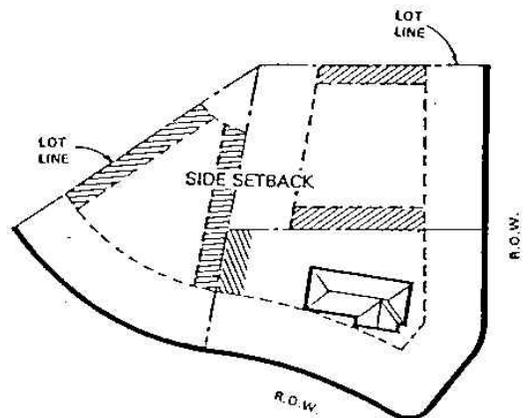


ILLUSTRATION NO. 15 SIDE SETBACK

Village of Sister Bay Zoning Code

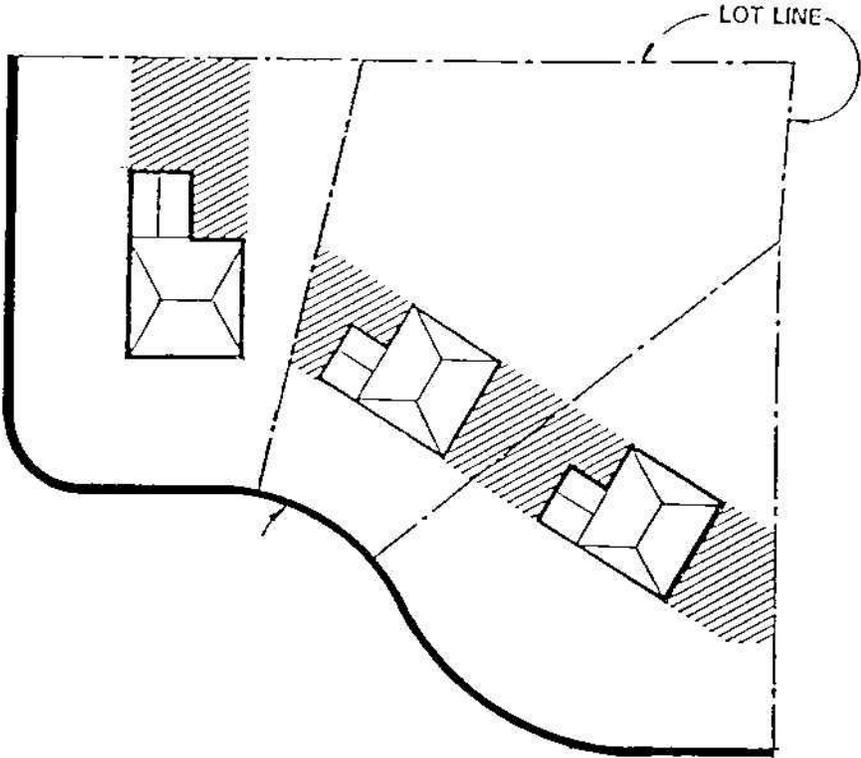


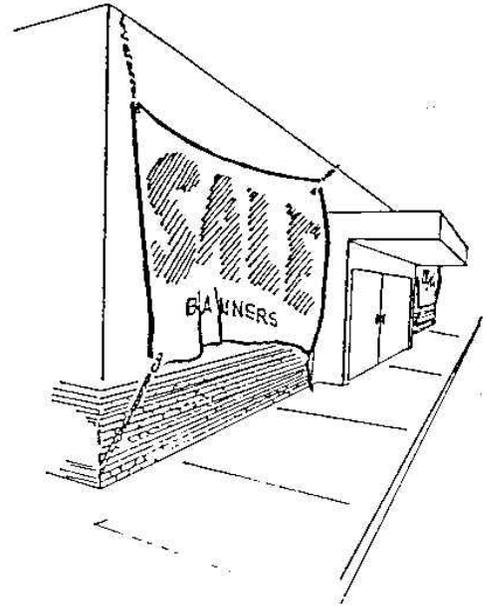
ILLUSTRATION NO. 16 SIDE YARD

Village of Sister Bay Zoning Code



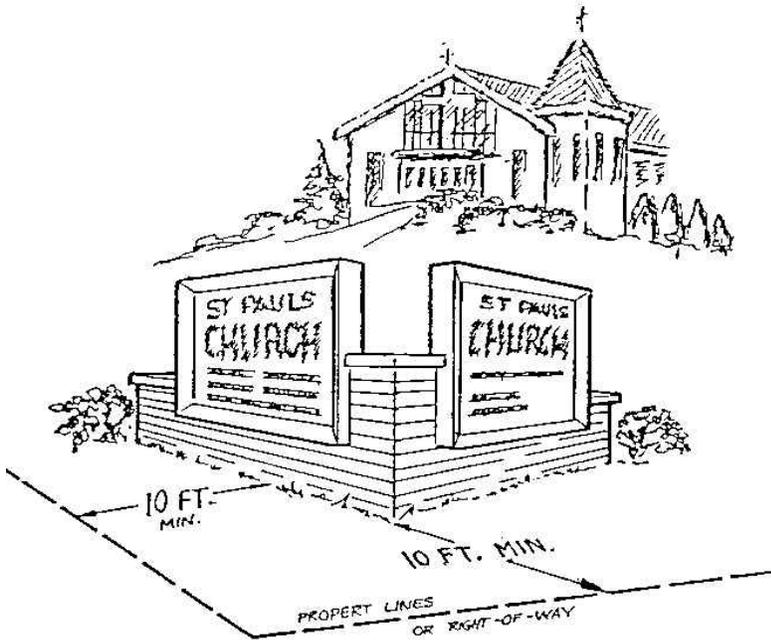
AWNING SIGNS
MAXIMUM SIGN AREA = . SQ. FT.

ILLUSTRATION NO. 17 AWNING SIGNS



BANNERS
MAXIMUM SIGN AREA = . SQ. FT. PER
SIDE OR . SQ. FT. TOTAL

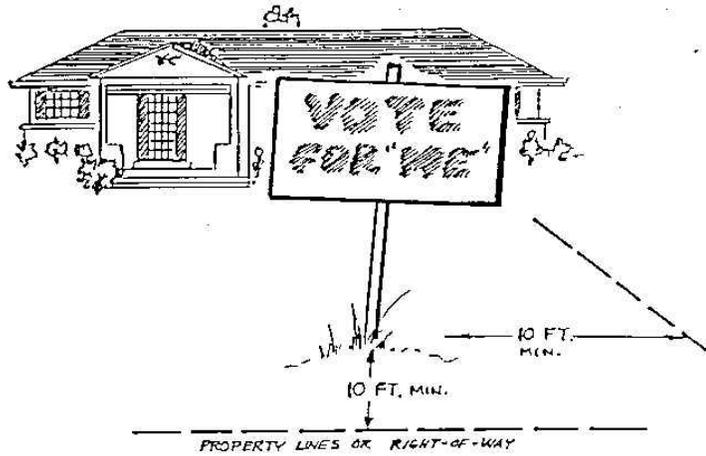
ILLUSTRATION NO. 18 BANNERS



BULLETIN BOARD SIGNS
MAXIMUM SIGN AREA = 48 SQ. FT./SIDE

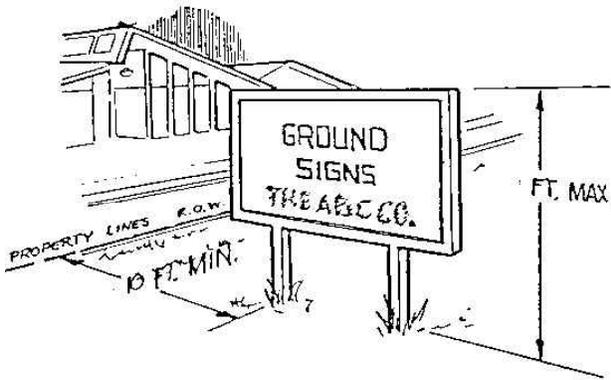
ILLUSTRATION NO. 19 BULLETIN BOARD SIGNS

Village of Sister Bay Zoning Code



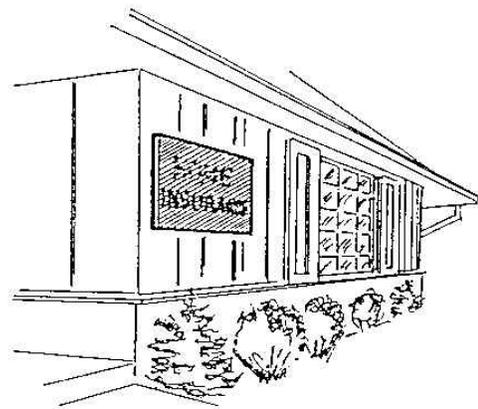
ELECTION CAMPAIGN SIGNS
 MAXIMUM SIGN AREA = . SQ. FT.

ILLUSTRATION NO. 20 ELECTION CAMPAIGN SIGNS



GROUND SIGNS
 MAXIMUM SIGN AREA = . SQ. FT. PER SIDE
 OR . SQ. FT. TOTAL

ILLUSTRATION NO. 21 GROUND SIGNS

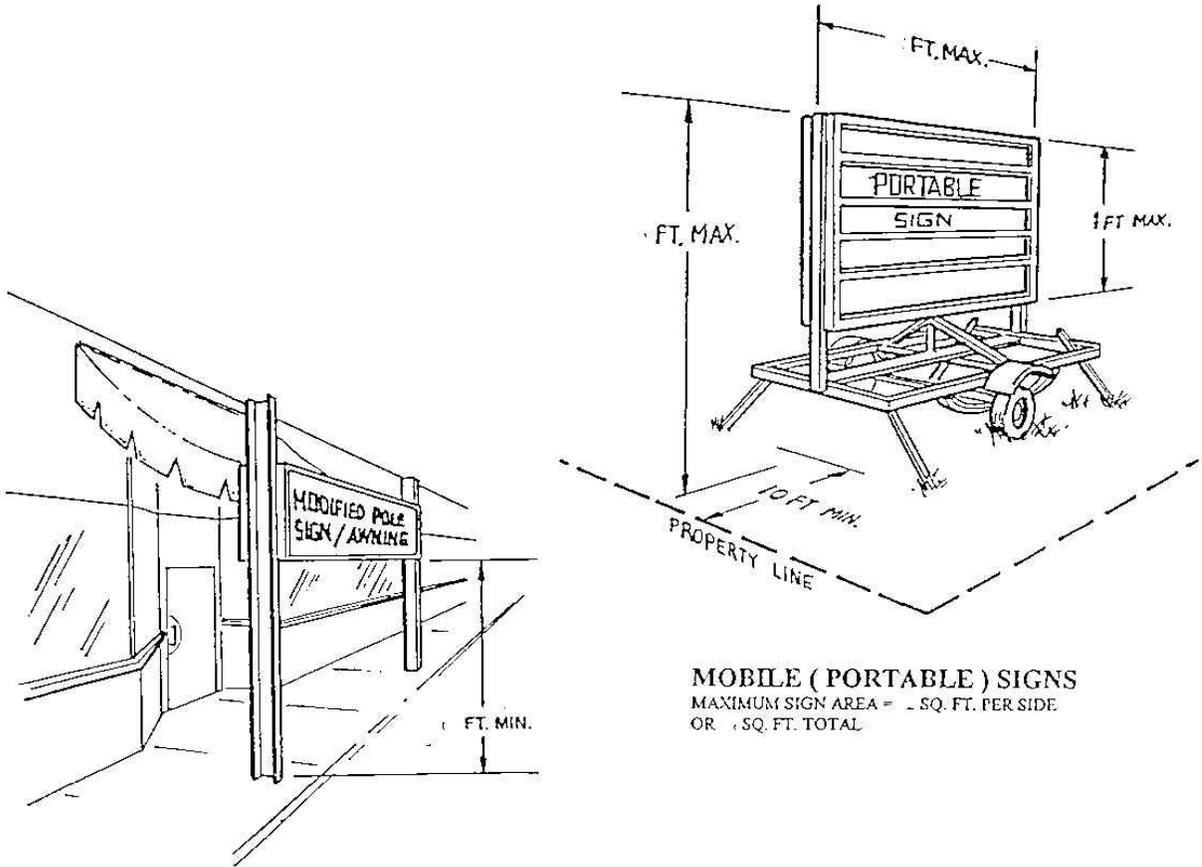


**HOME OCCUPATION & PROFESSIONAL
 HOME OFFICE SIGNS**
 MAXIMUM SIGN AREA = . SQ. FT.

ILLUSTRATION NO. 22 HOME OCCUPATION & PROFESSIONAL HOME OFFICE SIGNS

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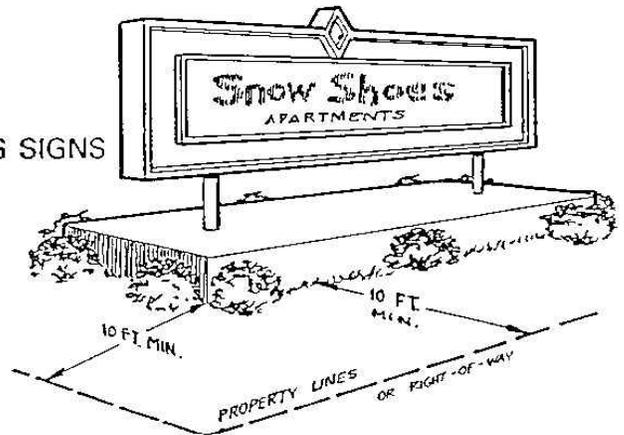
ILLUSTRATION NO. 23 MOBILE (PORTABLE) SIGNS



MOBILE (PORTABLE) SIGNS
 MAXIMUM SIGN AREA = $\frac{1}{4}$ SQ. FT. PER SIDE
 OR $\frac{1}{4}$ SQ. FT. TOTAL

MODIFIED POLE/AWNING SIGNS
 MAXIMUM SIGN AREA = $\frac{1}{4}$ SQ. FT.

ILLUSTRATION NO. 24 MODIFIED POLE/AWNING SIGNS

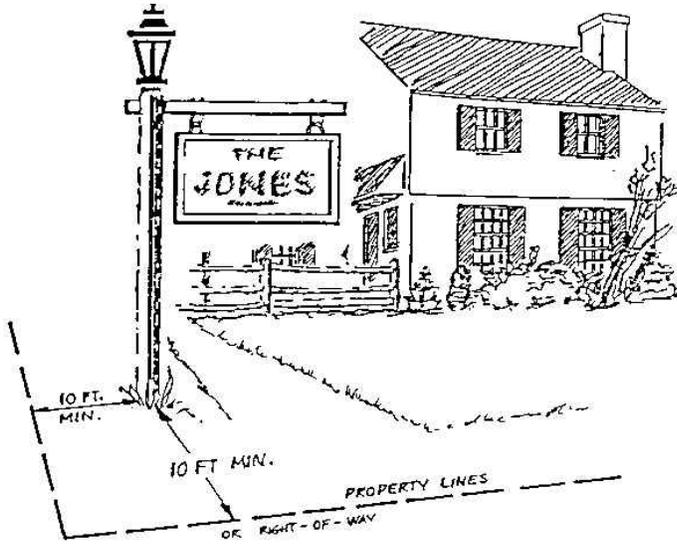


MULTIFAMILY DEVELOPMENT SIGNS
 MAXIMUM SIGN AREA = 48 SQ. FT./SIDE

(ACTUAL SIZE DETERMINED BY THE PLAN COMMISSION)

ILLUSTRATION NO. 25 MULTIFAMILY DEVELOPMENT SIGNS

Village of Sister Bay Zoning Code



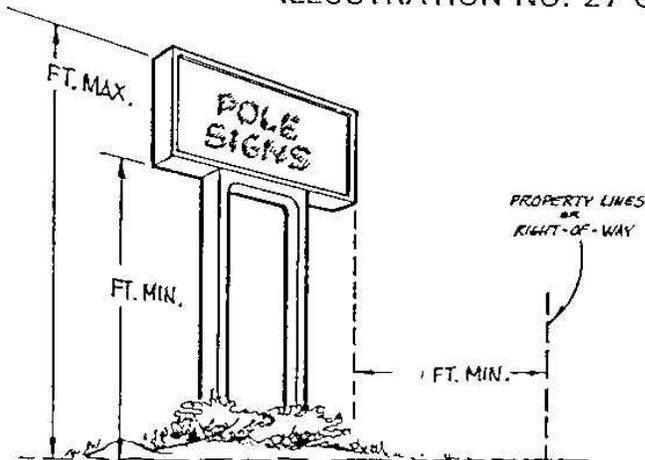
NAME SIGNS
 MAXIMUM SIGN AREA = SQ. FT.

ILLUSTRATION NO. 26 NAME SIGNS



OFF-PREMISE ADVERTISING SIGNS

ILLUSTRATION NO. 27 OFF-PREMISE ADVERTISING SIGNS

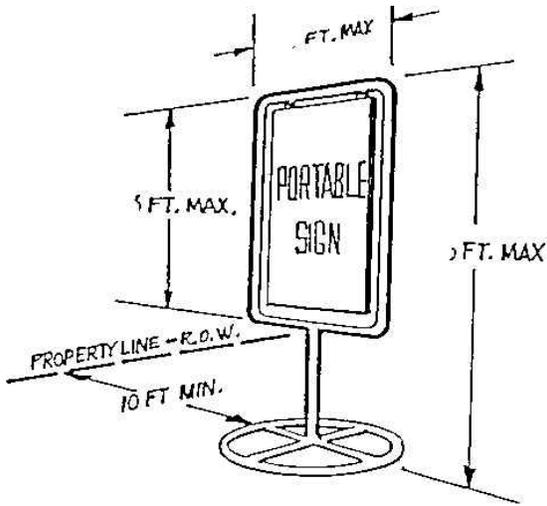


POLE SIGNS

MAXIMUM SIGN AREA = SQ. FT./SIDE
 SQ. FT. TOTAL

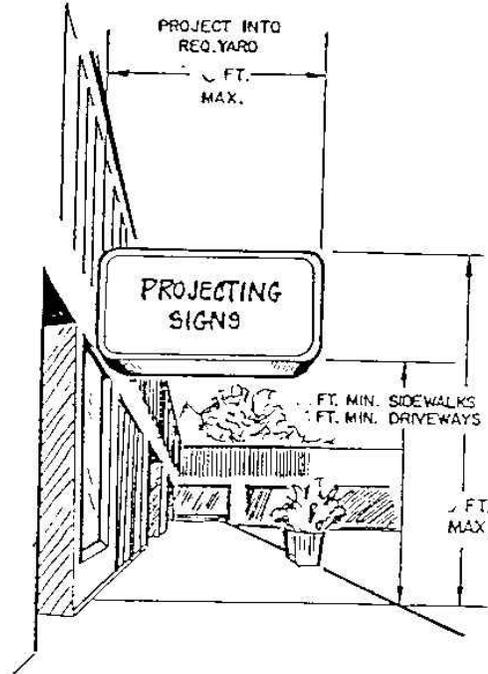
ILLUSTRATION NO. 28 POLE SIGNS

Village of Sister Bay Zoning Code



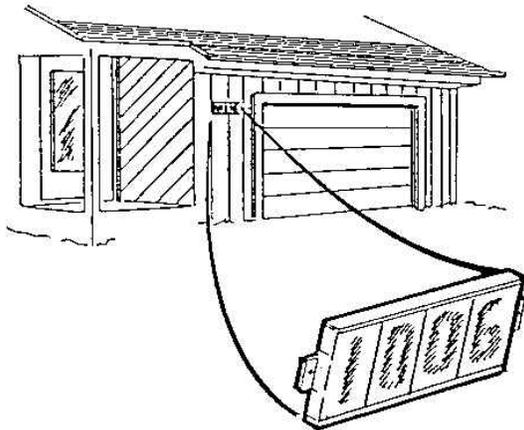
PORTABLE SIGNS
 MAXIMUM SIGN AREA = 20 SQ. FT./SIDE OR 64 SQ. FT. TOTAL

ILLUSTRATION NO. 29 PORTABLE SIGNS



PROJECTING SIGNS
 MAXIMUM SIGN AREA = 20 SQ. FT./SIDE OR 64 SQ. FT. TOTAL

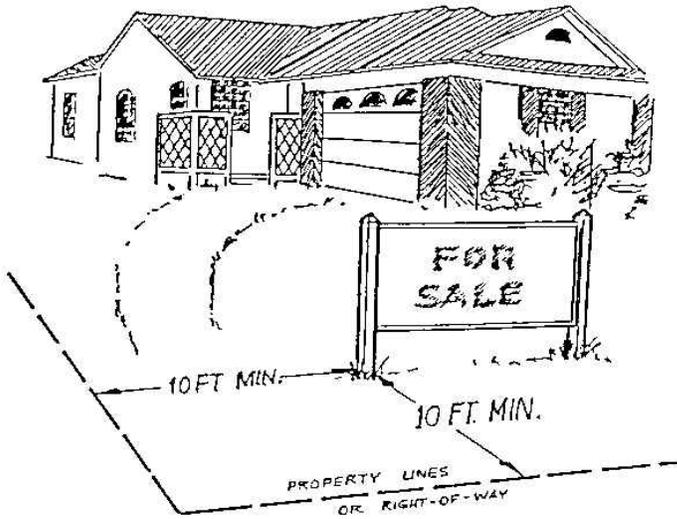
ILLUSTRATION NO. 30 PROJECTING SIGNS



PROPERTY ADDRESS SIGNS

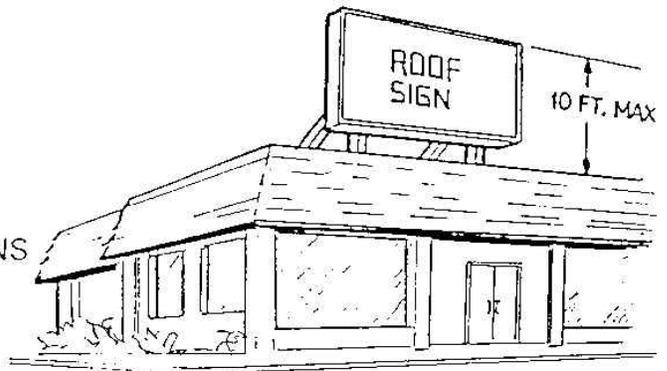
ILLUSTRATION NO. 31 PROPERTY ADDRESS SIGNS

Village of Sister Bay Zoning Code



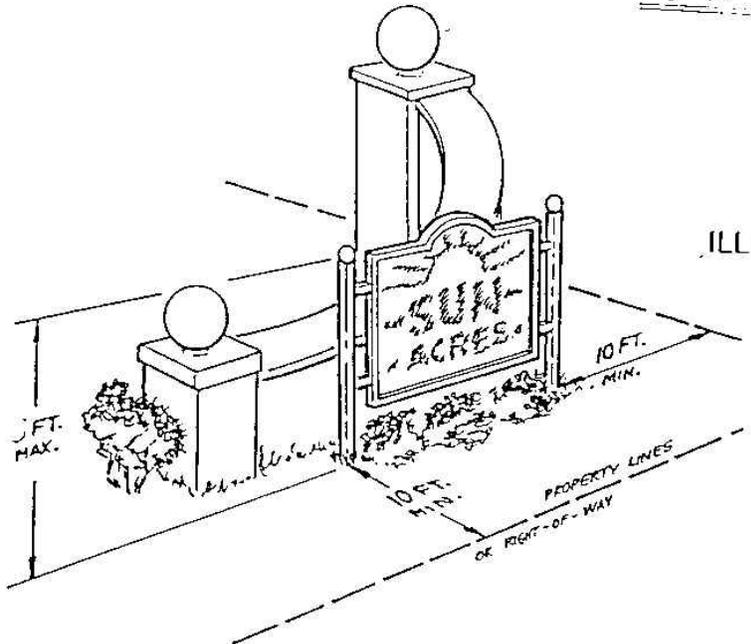
REAL ESTATE SIGNS
 RESIDENTIAL MAXIMUM SIGN AREA = . . . SQ. FT.
 ALL OTHER DISTRICTS = . . . SQ. FT.

ILLUSTRATION NO. 32 REAL ESTATE SIGNS



ROOF SIGNS
 MAXIMUM SIGN AREA = . . . SQ. FT. PER SIDE
 OR . . . SQ. FT. TOTAL

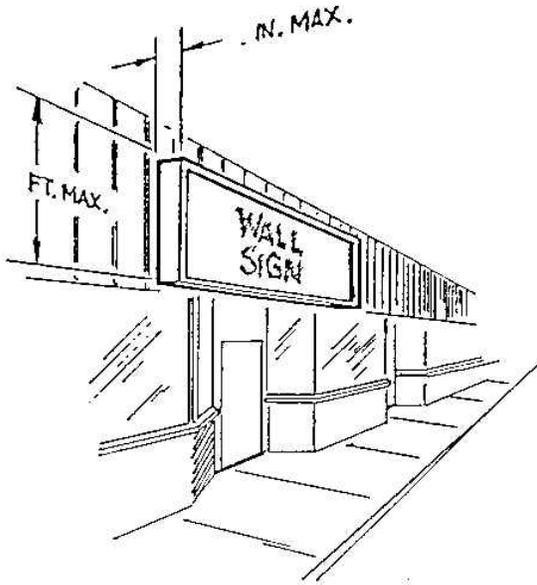
ILLUSTRATION NO. 33 ROOF SIGNS



SINGLE AND TWO-FAMILY RESIDENTIAL DEVELOPMENT SIGNS
 MAXIMUM SIGN AREA = . . . SQ. FT./SIDE
 . . . SQ. FT. TOTAL WITH ACTUAL SIZE DETERMINED
 BY THE PLAN COMMISSION

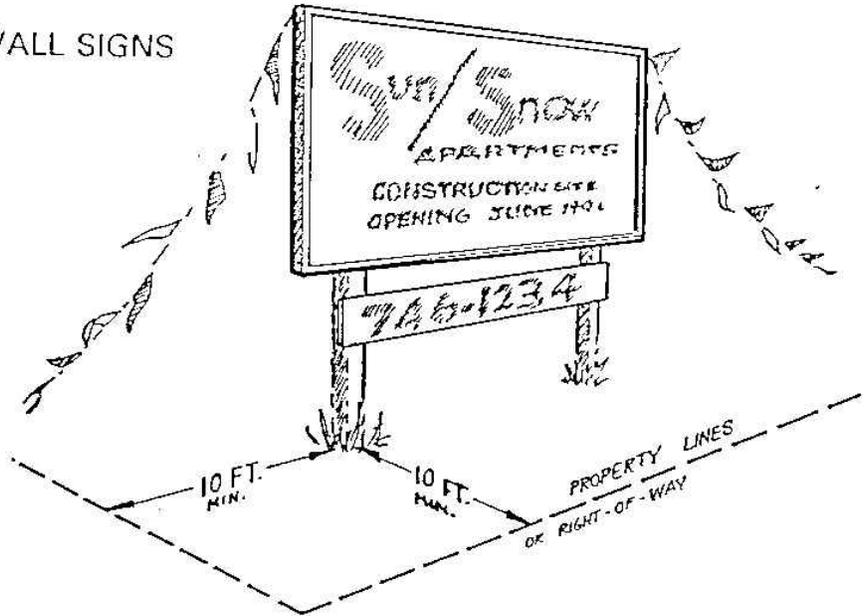
ILLUSTRATION NO. 34 RESIDENTIAL DEVELOPMENT SIGNS (PERMANENT)

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WALL SIGNS
 MAXIMUM SIGN AREA = 2% OF THE WALL AREA
 BUT SHALL NOT EXCEED 100 SQ. FT.

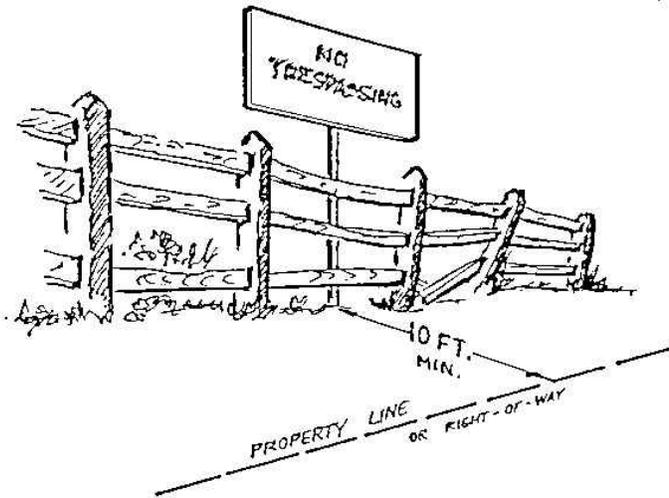
ILLUSTRATION NO. 35 WALL SIGNS



TEMPORARY DEVELOPMENT SIGNS
 MAXIMUM SIGN AREA = 48 SQ. FT. PLAN COMMISSION
 TO DETERMINE LENGTH OF TIME, NOT TO EXCEED 2 YEARS

ILLUSTRATION NO. 36 TEMPORARY DEVELOPMENT SIGNS

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WARNING SIGNS
MAXIMUM SIGN AREA = . SQ. FT.

ILLUSTRATION NO. 37 WARNING SIGNS

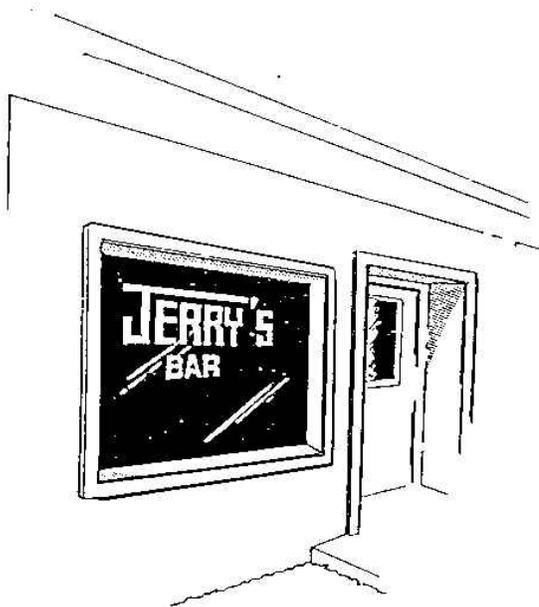


ILLUSTRATION NO. 38 WINDOW SIGNS

Village of Sister Bay Zoning Code

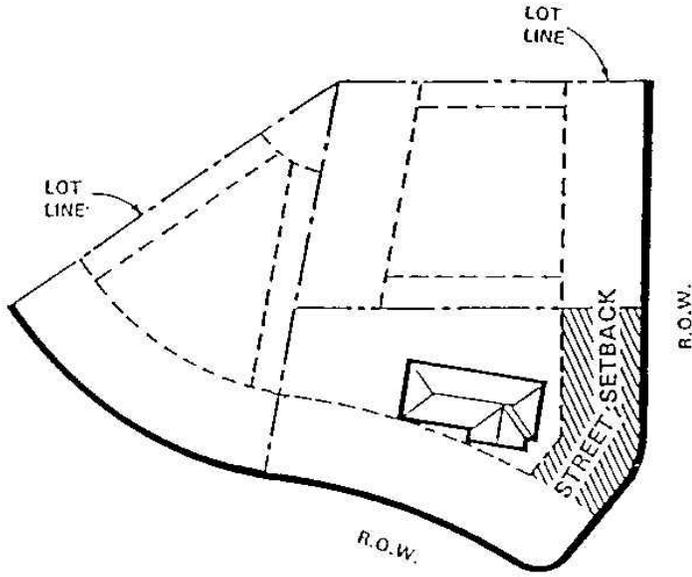


ILLUSTRATION NO. 39 STREET SETBACK

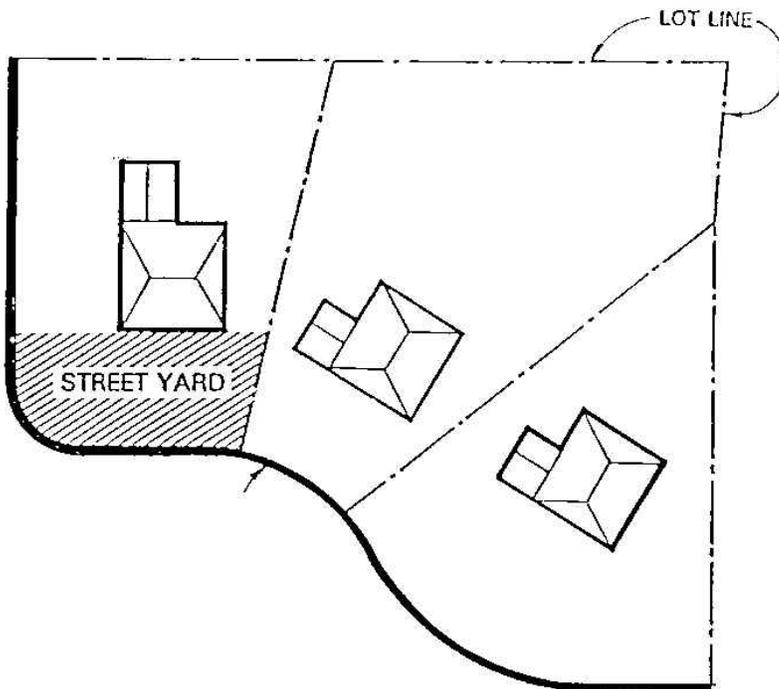


ILLUSTRATION NO. 40 STREET YARD

Village of Sister Bay Zoning Code

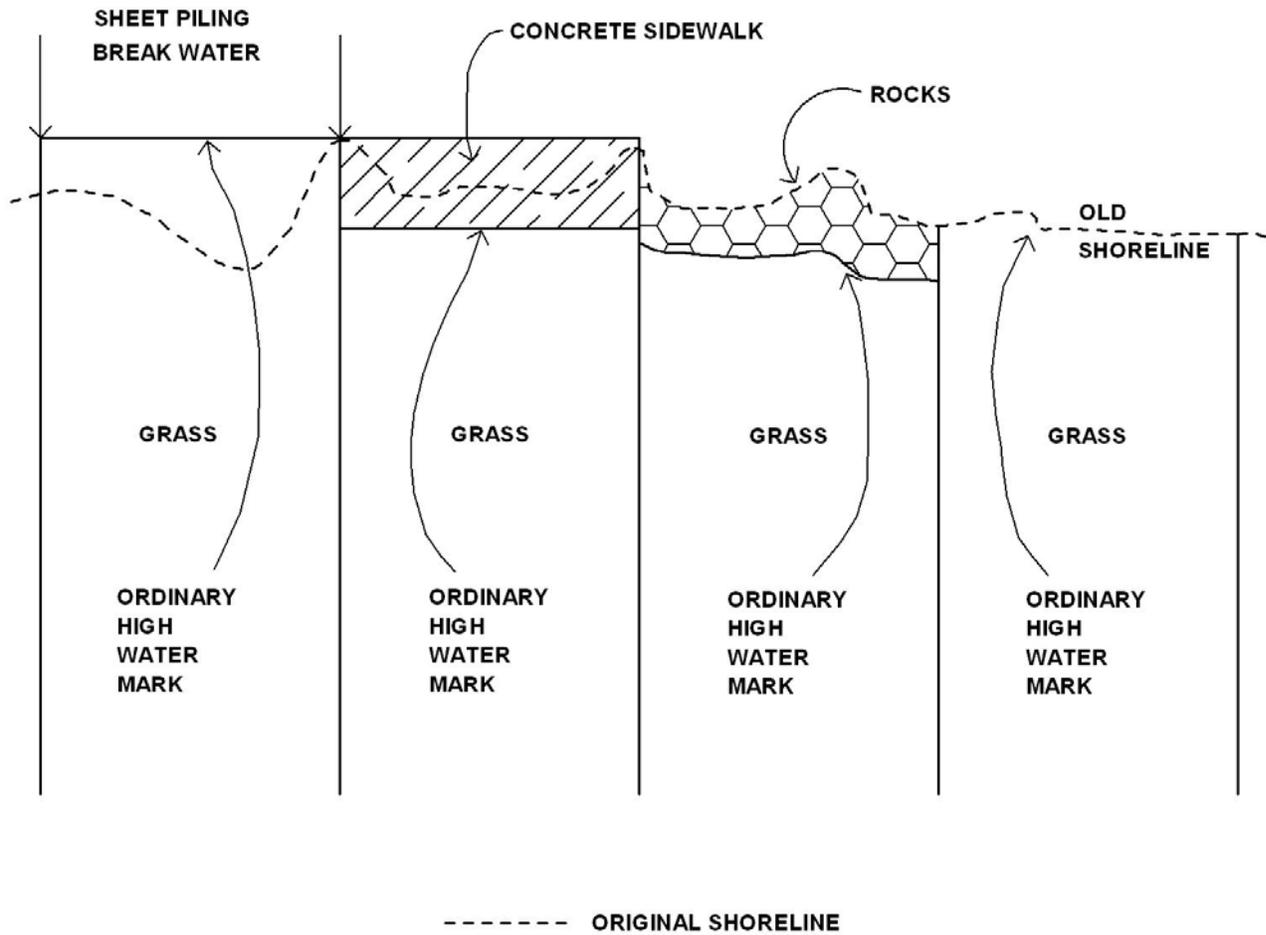


Illustration #41 Development at the Ordinary High Water Mark

Village of Sister Bay Zoning Code

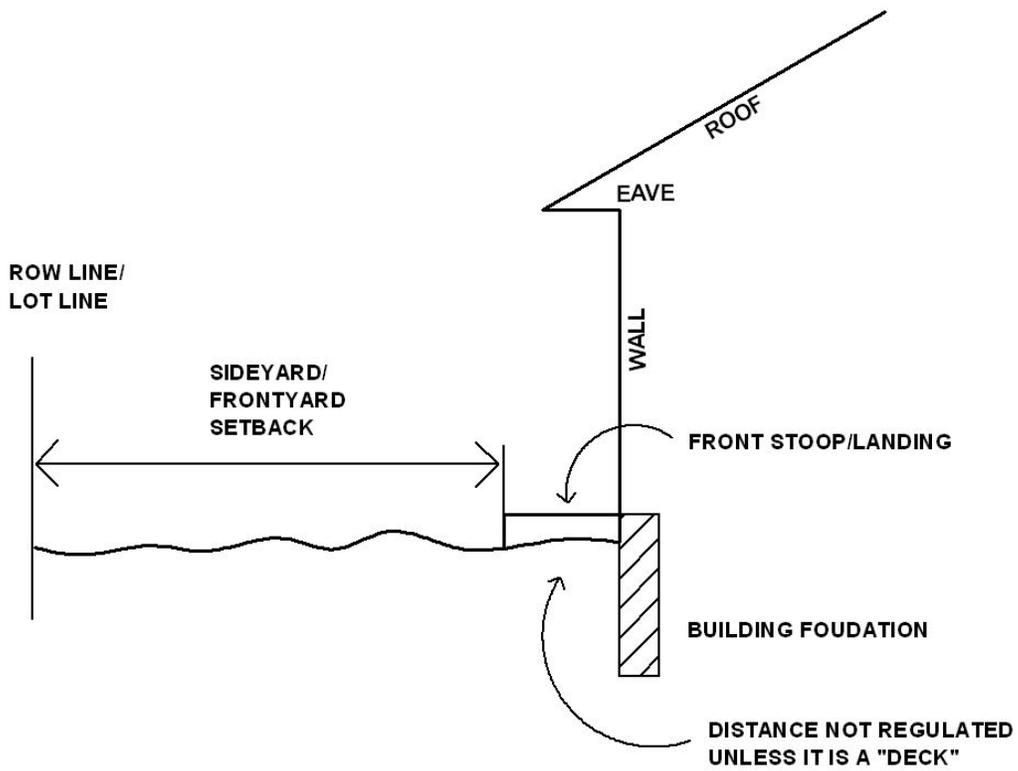
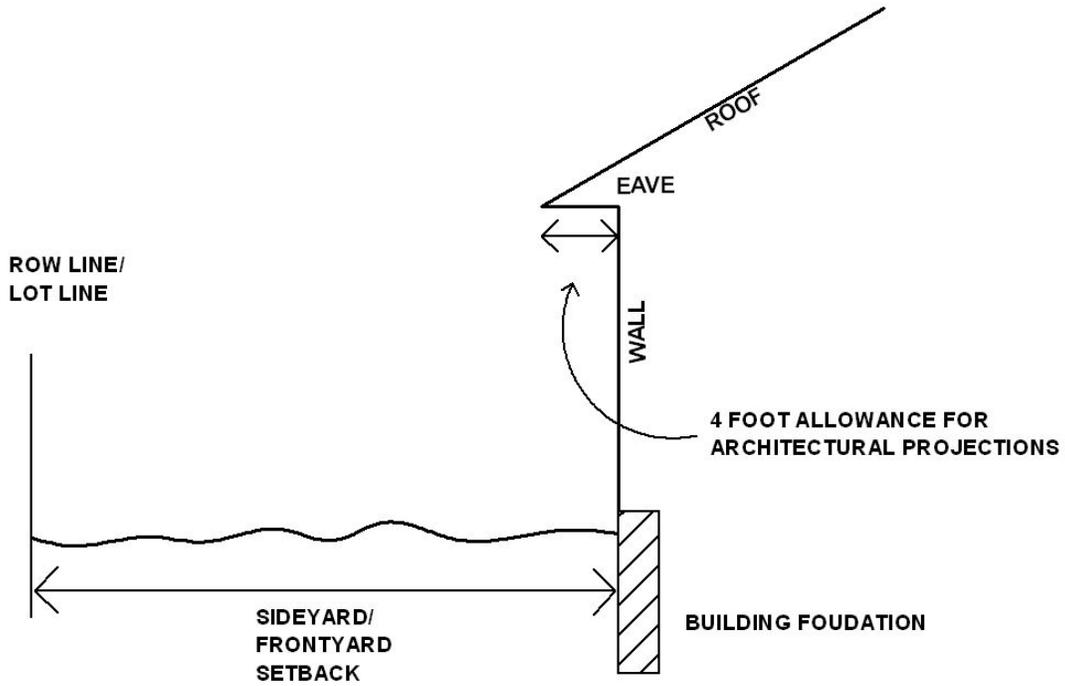


Illustration #42 Building Setback Measurements Using Eave and Roof Overhangs